3700 RIVERSIDE - MIXED USE PROJECT

3700 W. RIVERSIDE DRIVE, BURBANK CA 91505

CONDITIONAL USE PERMIT & DEVELOPMENT REVIEW RE-SUBMITTAL

SEPTEMBER 30, 2019

3700 W. RIVERSIDE
INVESTMENTS, LLC

STRUERE

ZONING CODE ANALYSIS

ADDRESS: 3700 W. RIVERSIDE DRIVE, BURBANK, CA 91505
APN: 2485–005–004, 014, 015

ZONE: MDC–3 MEDIA DISTRICT GENERAL BUSINESS
DISTRICT: RIVERSIDE DRIVE CORRIDOR

GENERAL PLAN DESIGNATION: MEDIA DISTRICT COMMERCIAL

LOT	DIMENSIONS	EXISTING	250'–0" X 108'–2"
		NEW	242'–0" X 108'–2"
AREA	EXISTING	26,393 SF	0.606 ACRES
	PROPOSED DEDICATION	. 966 SF	
	FINAL	25,427 SF	0.584 ACRES

ALLOWABLE DENSITY 58 /ACRE (W/ CONDITIONAL USE PERMIT)
UNITS 36 UNITS*

DENSITY INCREASE	CRITERIA		INCREASE
BY RIGHT			36 UNITS*
STATE AFFORDABLE UNITS	11% VERY LOW	35%*	13 UNITS*
TOTAL UNITS			49 UNITS
TOTAL AFFORDABLE UNITS	11% VERY LOW		4 UNITS*

(*ROUND UP, PER CA DENSITY BONUS GOVT. CODE 65915 (f)(5) & (q))

INCLUSIONARY HOUSING
ALLOWABLE UNITS BY RIGHT 36
AFFORDABLE REQUIRED: 15% VERY LOW INCOME: 7.5%
REQUIRED VERY LOW INCOME 3 UNITS

ALLOWABLE HEIGHT (TO HIGHEST CEILING)
HEIGHT 205' (500' MIN. DISTANCE SINGLE FAMILY)
STORIES 15

AVERAGE GRADE: CORNER ELEVS: 552.75', 552.75', 551.94', 551.90'
AVERAGE ELEV: 552.33'

SETBACK: STREET AVERAGE 20% OF BLDG. HT., 5' MIN.
ALLEY 0'
R3, R4, R5 5'
COMMERCIAL 0'

ENCROACHMENT: RETAIL 50% AREA OF STREET SETBACK
OUTDOOR DINING FULL ENCROACHMENT

FAR (COMMERCIAL) 1.1:1 (OFFICE EQUIVALENT)
(NET AREA/TOTAL SITE AREA)
ALLOWED: 29,085 SF

COMMERCIAL PARKING REQUIREMENTS
PARKING SPACES: RETAIL 3.3/1,000 SF**
RESTAURANT/BAR 10.0/1,000 SF
(W/WALK–INS) 3.3/1,000 SF**

** 1. RETAIL PARKING REQUIREMENT BASED ON BURBANK ZONING CODE ARTICLE 21, MEDIA DISTRICT OVERLAY ZONE, 10–1–2107(D) MINIMUM PARKING REQUIREMENTS, TABLE 3: RETAIL STORES AND PERSONAL SERVICES – 3.3 SPACES PER 1,000 SF OF ADJUSTED GROSS AREA

** 2. RESTAURANT PARKING REQUIREMENT BASED ON BURBANK ZONING CODE ARTICLE 21, MEDIA DISTRICT OVERLAY ZONE, 10–1–2107(D) MINIMUM PARKING REQUIREMENTS, PARAGRAPH 2: CONDITIONAL USE PERMIT – RESTAURANTS: "...THE CITY MAY APPROVE A REDUCTION IN THE MINIMUM PARKING REQUIREMENT FOR RESTAURANTS WHICH CAN PROVE... THAT THE RESTAURANT WILL PRIMARILY SERVE A WALK–IN TRADE..."
AND
LOCATION OF SITE WITHIN 1,000 FEET OF WARNER BROS. STUDIOS AND FOUR HIGH–RISE AND SEVEN MID–RISE OFFICE BUILDINGS
AND
BURBANK ZONING CODE, ARTICLE 14, GENERAL OFF–STREET PARKING STANDARDS, 10–1–1408.2(n), SPACES REQUIRED: RESTAURANTS...: "...3.3 SPACES FOR EACH 1,000 SQ. FT. OF ADJUSTED GROSS FLOOR AREA WITH AN ADMINISTRATIVE USE PERMIT."

RESIDENTIAL PARKING REQUIREMENTS (W/ DENSITY BONUS REDUCTION)
PARKING / UNIT: STUDIO & 1–BED 1.00 SPACES
2–BED & 3–BED 2.00 SPACES
GUEST 0.00 SPACES

COMPACTS: NOT ALLOWED

LOADING: COMMERCIAL 3,000 SF–15,000 SF 1 SPACE

BICYCLES 1 SPACE / 5% TOTAL REQ'D VEHICLE SPACES

OPEN SPACE: COMMON 150 SF/UNIT (80% OPEN TO SKY)
PRIVATE 50 SF/UNIT (MIN. 5' DIMENSIONS)

MINIMUM STORAGE: 60 SF/UNIT (OUTSIDE OF UNIT)

BUILDING CODE ANALYSIS

CONSTRUCTION TYPE III–A, I–A
OCCUPANCY TYPE R–2, M
SPRINKLERS* YES

ALLOWABLE HEIGHT* 85' FROM GRADE
ALLOWABLE STORIES* 5 STORIES ABOVE 1ST FLR. PODIUM
ALLOWABLE AREA PER FLOOR 24,000 SF

* SPRINKLER BONUS CAN BE USED FOR EITHER INCREASED HEIGHT OR INCREASED AREA. THIS SCHEME USES THE BONUS TO INCREASE HEIGHT.

PROPOSED DEVELOPMENT

STATE AFFORDABLE HOUSING BONUS & CITY OF BURBANK T.O.D. BONUS
RESIDENTIAL CONDOMINIUMS MIXED–USE PROJECT

RESIDENTIAL (CONDOS)

TYPE	NUMBER	AVE. SIZE	OPEN SPACE	PRKG REQ'D*
1–BED	18	937 GSF	18 X 150 SF	18 (1/UNIT)
2–BED	27	1,442 GSF	27 X 150 SF	54 (2/UNIT)
3–BED	4	2,187 GSF	4 X 150 SF	8 (2/UNIT)
TOTAL	49	1,317 GSF	7,350 SF NET	80

(*PER PER CA DENSITY BONUS GOVT. CODE 65915 (p)(1))

COMMERCIAL BLDG. USE	SIZE	PRKG. REQ'D	PRKG REQ'D
RESTAURANT/RETAIL	2,000 SF	5.0/1,000	10

PARKING
CODE REQUIRED PROJECT PARKING 90 SPACES
PROVIDED PROJECT PARKING 90 SPACES
EXTRA PARKING 0 SPACE

ADA PARKING
RESIDENTIAL REQUIRED 4 SPACES
PROVIDED 4 SPACES

COMMERCIAL REQUIRED 1 SPACE
PROVIDED 1 SPACE

BICYCLES
REQUIRED BIKE PARKING: 5% OF REQ'D VEHICLE PRKG. 5 SPACES
PROVIDED BIKE PARKING: 3 RACKS 2 SPACES/RACK 6 SPACES

BUILDING PARAMETERS
BUILDING HEIGHT ZONING: 78'–8" (GRADE TO HIGHEST CEILING)
BLDG DEPT. 80'–0" (GRADE TO AVERAGE ROOF)
(LOW ROOF: 70'–4", HIGH ROOF: 80'–0", ELVTR.: 83'–0")

STREET SETBACK GENERAL MIN: 5'–0"
AVER.: 15'–9" (20% OF BLDG. HT.)
1ST FLR. RETAIL AVER: 7'–11" (50% ENCROACHMENT)
SETBACK HEIGHT: 20'–0"*

* PER ARTICLE 7 COMMERCIAL USES AND STANDARDS, PARAGRAPH 10–1–705(C)2a: "...SUCH SETBACKS SHALL BE REQUIRED FOR THAT PORTION OF A BUILDING THAT IS WITHIN 20 FEET ABOVE GRADE..."

PROJECT AREA
EXISTING STRUCTURES TO BE DEMOLISHED 1,628 SF

GROSS USABLE AREA – COMMERCIAL*	FIRST FLOOR	2,000 SF
GROSS USABLE AREA – RESIDENTIAL*	SECOND FLOOR	11,482 SF
	THIRD FLOOR	12,821 SF
	FOURTH FLOOR	12,817 SF
	FIFTH FLOOR	12,269 SF
	SIXTH FLOOR	12,368 SF
	MEZZANINE	3,077 SF
	TOTAL	64,834 SF
GROSS USABLE AREA – TOTAL		66,834 SF
GROSS BUILDING AREA – COMMERCIAL	GROUND FLOOR:	2,141 SF
	TOTAL COMMERCIAL	2,141 SF
GROSS BUILDING AREA – RESIDENTIAL	FIRST FLOOR	3,008 SF
	SECOND FLOOR	13,065 SF
	THIRD FLOOR	14,685 SF
	FOURTH FLOOR	14,689 SF
	FIFTH FLOOR	13,820 SF
	SIXTH FLOOR	13,985 SF
	MEZZANINE	7,330 SF
	TOTAL	80,582 SF
GROSS BUILDING AREA – TOTAL		82,723 SF
FAR AREA**	GROUND FLOOR	2,000 SF
	TOTAL	2,000 SF
	FAR	1:0.076

* GROSS USABLE AREA INCLUDES EXTERIOR, CORRIDOR & PARTY WALLS, BUT EXCLUDES CORRIDORS, STAIRS AND ELEVATORS.

** GROSS FLOOR AREA, FOR THE PURPOSE OF CALCULATING FAR & PARKING EXCLUDES EXTERIOR WALLS, PERMANENT INTERIOR WALLS, COLUMNS, MECHANICAL ROOMS AND STAIR, ELEVATOR & DUCT SHAFTS. INCLUDED ARE CORRIDORS & RESTROOMS

COMMON OPEN SPACE	REQUIRED:	TOTAL	7,350 SF
		UNCOVERED (80%)	5,880 SF
	PROVIDED:	1ST (1,253 SF)	1,964 SF
		2ND (2,916 SF)	3,743 SF
		ROOF (4,959 SF)	4,973 SF
	PROVIDED		10,680 SF
	UNCOVERED		(9,128 SF)
PRIVATE OPEN SPACE	REQUIRED:	50 SF/UNIT	2,450 SF
	PROVIDED (CONFORMING):		9,506 SF
	PROVIDED (NON–CONFORMING):		1,432 SF
	PROVIDED (TOTAL):		10,938 SF
LOT COVERAGE	REQUIRED:	70% MAXIMUM	17,799 SF
WAIVER:		80% MAXIMUM	20,341 SF
	PROVIDED		20,341 SF
PRIVATE STORAGE	REQUIRED:	49 x 60 CF/UNIT	2,940 CF
			4,045 CF

PROJECT DATA & CODE COMPLIANCE

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PROJECT DIRECTORY

PROJECT DESCRIPTION

A NEW SIX-STORY MIXED-USE BUILDING REPLACING AN EXISTING CAR WASH, CONSISTING OF 49 RESIDENTIAL CONDOMINIUMS AND 2,000 SF OF COMMERCIAL SPACE.

A TYPE III-A WOOD FRAME STRUCTURE OVER A TYPE-1A CONCRETE PODIUM AT GROUND FLOOR & ONE UNDERGROUND LEVEL.

PROJECT DESCRIPTION

LEGEND

- ADA PATH OF TRAVEL
- PRIVATE OPEN SPACE (CONFORMING)
- PRIVATE OPEN SPACE (NON. CONFORM.)
- LOW GROUND COVER
- HIGH PLANTER
- BWP CLEARANCE AREA
- WATER FEATURE

SHEET INDEX

ARCHITECTURE
COVER SHEET
A0.1 GENERAL INFORMATION
A0.2 SETBACK PLANS
A0.5 AERIAL VIEWS
A0.6 CORNER VIEWS
A0.7 FRONT VIEWS
A0.8 PEDESTRIAN VIEWS
A0.9 ROOF DECK & POCKET PARK VIEWS
A1.1 SITE PLAN
A2.0 PARKING LEVEL PLAN
A2.1 GROUND FLOOR PLAN
A2.2 SECOND FLOOR PLAN
A2.3 THIRD FLOOR PLAN
A2.4 FOURTH FLOOR PLAN
A2.5 FIFTH FLOOR PLAN
A2.6 SIXTH FLOOR PLAN
A2.7 MEZZANINE LEVEL & ROOF PLAN
A2.8 UPPER ROOF PLAN
A3.1 NORTH ELEVATION
A3.2 EAST & WEST ELEVATIONS
A3.3 SOUTH ELEVATION
A4.1 BUILDING SECTION
A5.1 MATERIAL SCHEDULE

SURVEY
000 SURVEY

CIVIL
C01 TITLE SHEET & GENERAL NOTES
C02 SITE DEMOLITION PLAN
C04 ROUGH GRADING & EXCAVATION PLAN
C05 PRECISE GRADING & DRAINAGE PLAN
C07 SUSMP EXHIBIT

LANDSCAPE
L1.1 GROUND FLOOR LANDSCAPE PLAN
L1.2 SECOND FLOOR LANDSCAPE PLAN
L1.3 MEZZANINE/ROOF LANDSCAPE PLAN

MECHANICAL
M1.0 MECHANICAL GROUND FLOOR PLAN
M2.0 MECHANICAL PARKING LEVEL PLAN

LIGHTING
L1.1 SITE LIGHTING PLAN

ELECTRICAL
E1.0 NOTES & SYMBOLS
E2.0 SINGLE LINE DIAGRAM & LOAD CALCS.
E2.1 SWITCH BOARD ELEVATIONS
E4.0 PARKING ELECTRICAL PLAN
E4.1 GROUND FLOOR ELECTRICAL PLAN

1. Existing Residential: No residential units currently exist on the Project Site
2. Project will comply with Section 10-1-1113.1(F) of the BMC: "All appendages ... and Marquees shall be flame resistant or erected with non-combustible materials that meet [CA Fire Code] requirements, and shall not protrude far enough to obstruct a ladder placed at ground level at a 70 degree angle to the building openings above the appendage ... or marquees.
3. Glass guardrails, doors and windows facing MDR4 property will be max. 15% reflective at guard rails and ground floor and max. 8% reflective elsewhere
4. Lot Area shall be min.15% Landscape. Common Open Space shall be min. 15% landscape. See Landscape Plan, L1.1 for more information.
5. Common Open Space shall provide one tree per 600 sf., Street facing perimeters shall provide one tree per 20 feet. See Landscape Plan, L1.1 for more information.

GENERAL NOTES

WAIVER #1 – ROOFTOP COMMON OPEN SPACE PERCENTAGE
To allow Roof Deck to fulfill Common Open Space requirements

WAIVER #2 – OPACITY & HEIGHT OF ROOFTOP COMMON OPEN SPACE ENCLOSURE WALLS
To allow a 42" high transparent guard rail at the Roof Deck

WAIVER #3 – SETBACK OF ROOFTOP COMMON OPEN SPACE ENCLOSURE WALLS
To allow the Roof Deck enclosure aligned with building face.

WAIVER #4 – OPACITY OF PRIVATE OPEN SPACE ENCLOSURE WALLS
To allow a transparent guard rail at the Balconies

WAIVER #5 – LOT COVERAGE
To allow an increase of Lot Coverage to 80% of Project Site

WAIVER #6 – SETBACK ADJACENT TO RESIDENTIAL ZONE
To allow structure and parking up to the property line adjacent to a property zoned as MDR4.

WAIVERS

UNIT	BEDS	GROSS AREA	OPEN SPACE CONFORMG	OPEN SPACE NON-CONF	STORAGE	PRICING
201	2	1,218 SF	63 SF	43 SF	80 CF	MARKET
202	1	924 SF	78 SF		72 CF	MARKET
203	2	1,392 SF	68 SF		64 CF	MARKET
204	1	945 SF	78 SF		73 CF	MARKET
205	2	1,201 SF	215 SF	43 SF	144 CF	MARKET
206	2	1,521 SF	70 SF		82 CF	MARKET
207	1	993 SF	74 SF		82 CF	MARKET
208	2	1,240 SF	83 SF		82 CF	AFFORDABLE
209	1	842 SF	68 SF		68 CF	AFFORDABLE
210	2	1,206 SF	72 SF		71 CF	MARKET
		11,482 SF	869 SF	86 SF		
301	2	1,531 SF	190 SF	68 SF	84 CF	MARKET
302	1	1,010 SF	69 SF		68 CF	MARKET
303	2	1,544 SF	156 SF	36 SF	123 CF	MARKET
304	1	944 SF	78 SF		79 CF	MARKET
305	2	1,538 SF	174 SF	56 SF	88 CF	MARKET
306	2	1,715 SF	68 SF	97 SF	82 CF	MARKET
307	1	948 SF	155 SF		82 CF	MARKET
308	2	1,291 SF	63 SF	40 SF	82 CF	AFFORDABLE
309	1	842 SF	80 SF		67 CF	AFFORDABLE
310	2	1,458 SF	50 SF		71 CF	MARKET
		12,821 SF	1,083 SF	297 SF		
401	2	1,521 SF	214 SF	56 SF	84 CF	MARKET
402	1	1,010 SF	71 SF		68 CF	MARKET
403	2	1,545 SF	150 SF	35 SF	123 CF	MARKET
404	1	944 SF	77 SF		79 CF	MARKET
405	2	1,543 SF	179 SF	53 SF	88 CF	MARKET
406	2	1,715 SF	68 SF	97 SF	82 CF	MARKET
407	1	948 SF	66 SF		82 CF	MARKET
408	2	1,291 SF	50 SF	41 SF	82 CF	MARKET
409	1	842 SF	72 SF		68 CF	MARKET
410	2	1,458 SF	50 SF		71 CF	MARKET
		12,817 SF	997 SF	282 SF		
501	2	1,342 SF	351 SF	155 SF	84 CF	MARKET
502	1	925 SF	71 SF	44 SF	166 CF	MARKET
503	2	1,651 SF	195 SF		123 CF	MARKET
504	1	944 SF	123 SF		79 CF	MARKET
505	2	1,386 SF	484 SF	39 SF	88 CF	MARKET
506	2	1,574 SF	226 SF	107 SF	82 CF	MARKET
507	1	948 SF	73 SF		82 CF	MARKET
508	2	1,393 SF	69 SF		82 CF	MARKET
509	1	842 SF	90 SF		68 CF	MARKET
510	2	1,264 SF	144 SF	135 SF	71 CF	MARKET
		12,269 SF	1,826 SF	480 SF		
601	3	1,872 SF	526 SF	196 SF	66 CF	MARKET
602	2	1,218 SF	231 SF		75 CF	MARKET
603	3	1,862 SF	506 SF	23 SF	136 CF	MARKET
605	3	3,005 SF	643 SF		131 CF	MARKET
606	3	2,010 SF	516 SF		103 CF	MARKET
607	1	1,215 SF	292 SF	11 SF	68 CF	MARKET
608	2	1,575 SF	496 SF		80 CF	MARKET
609	1	1,080 SF	152 SF		80 CF	MARKET
610	2	1,608 SF	461 SF	85 SF	103 CF	MARKET
		15,445 SF	3,823 SF	315 SF		

RESIDENTIAL UNIT TABULATION

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RENEWAL DATE: 04/30/21
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3700 RIVERSIDE DRIVE

MIXED-USE PROJECT

3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE–SUBMITTAL	9/30/19

SHEET TITLE
GENERAL INFORMATION

SHEET NUMBER
A0.1

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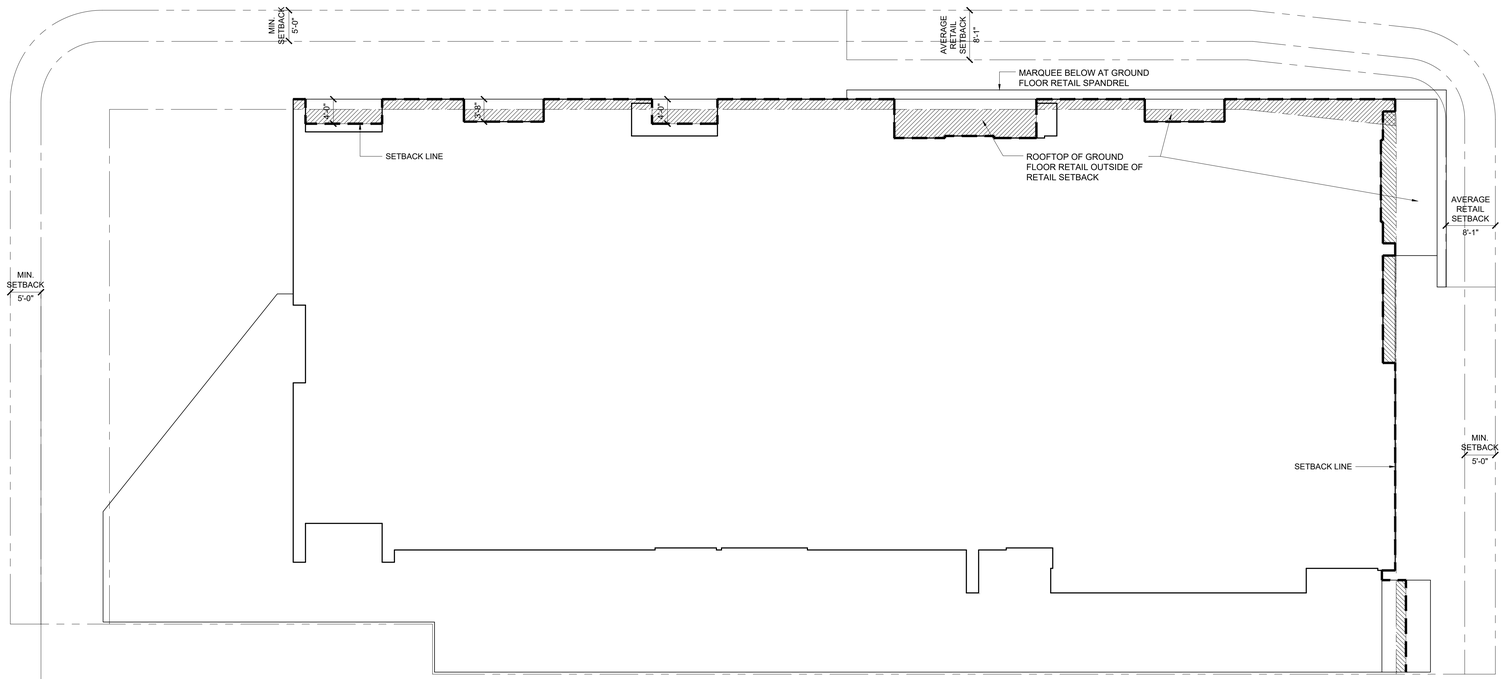
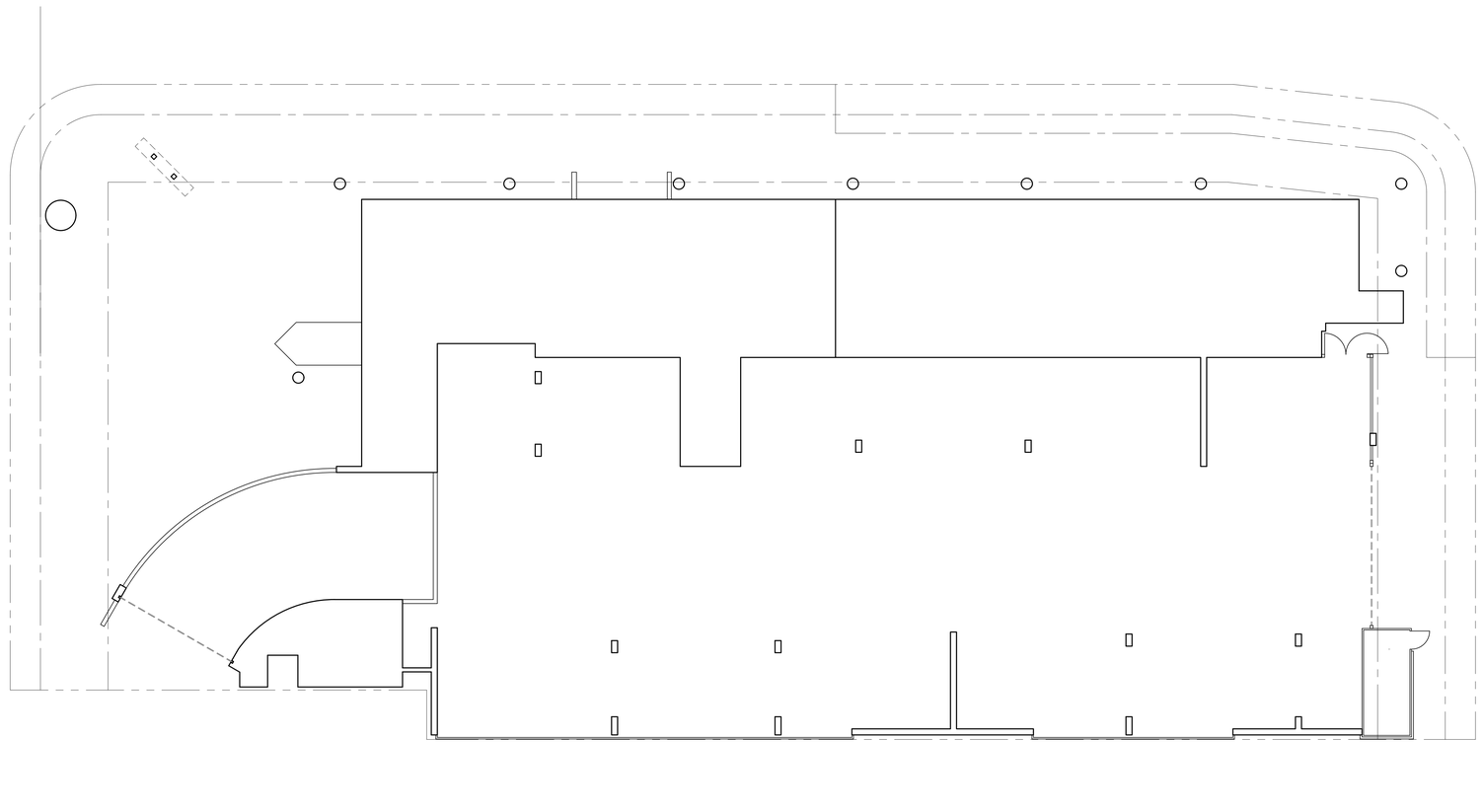


SECOND FLOOR SETBACK PLAN

SCALE 1"=10'-0" | 2



GROUND FLOOR SETBACK PLAN

SCALE 1"=10'-0" | 1

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1ST & 2ND FLOOR SETBACK PLANS

SHEET NUMBER

A0.2

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AERIAL VIEW LOOKING NORTHEAST 4

AERIAL VIEW LOOKING NORTHWEST 3

AERIAL VIEW LOOKING SOUTHWEST 2

AERIAL VIEW LOOKING SOUTHEAST 1

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AERIAL VIEWS

SHEET NUMBER

A0.5

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CORNER VIEW LOOKING NORTHEAST | 4

CORNER VIEW LOOKING NORTHWEST | 3

CORNER VIEW LOOKING SOUTHWEST | 2

CORNER VIEW LOOKING SOUTHEAST | 1

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CORNER VIEWS

SHEET NUMBER

A0.6

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FRONT VIEW - CLOSE UP 2

FRONT VIEW 1

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FRONT VIEWS

SHEET NUMBER

A0.7

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PEDESTRIAN VIEW LOOKING EAST | 4

PEDESTRIAN VIEW LOOKING NORTHEAST | 3

PEDESTRIAN VIEW LOOKING NORTHWEST | 2

PEDESTRIAN VIEW LOOKING WEST | 1

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SHEET TITLE

PEDESTRIAN VIEWS

SHEET NUMBER

A0.8

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POCKET PARK - AERIAL VIEW LOOKING SOUTHEAST | 4

POCKET PARK - PEDESTRIAN VIEW LOOKING SOUTHEAST | 3

TOP VIEW LOOKING SOUTH | 2

TOP VIEW LOOKING SOUTHEAST | 1

struere
ADVANCED ARCHITECTURE

3324 GRAND VIEW
LOS ANGELES, CALIFORNIA 90066

TELEPHONE (310) 748-7649
E-MAIL HRAZTAN@STRUERE.COM

WWW.STRUERE.COM

LICENSED ARCHITECT
HRAZTAN ZEITLIAN
28719
RENEWAL DATE:
04/30/21
STATE OF CALIFORNIA

3700 W. RIVERSIDE INVESTMENTS. LLC

127 N. MADISON AVE., SUITE 200
PASADENA, CA 91101

3700 RIVERSIDE DRIVE

MIXED-USE PROJECT

3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

ROOF DECK & POCKET PARK VIEWS

SHEET NUMBER

A0.9

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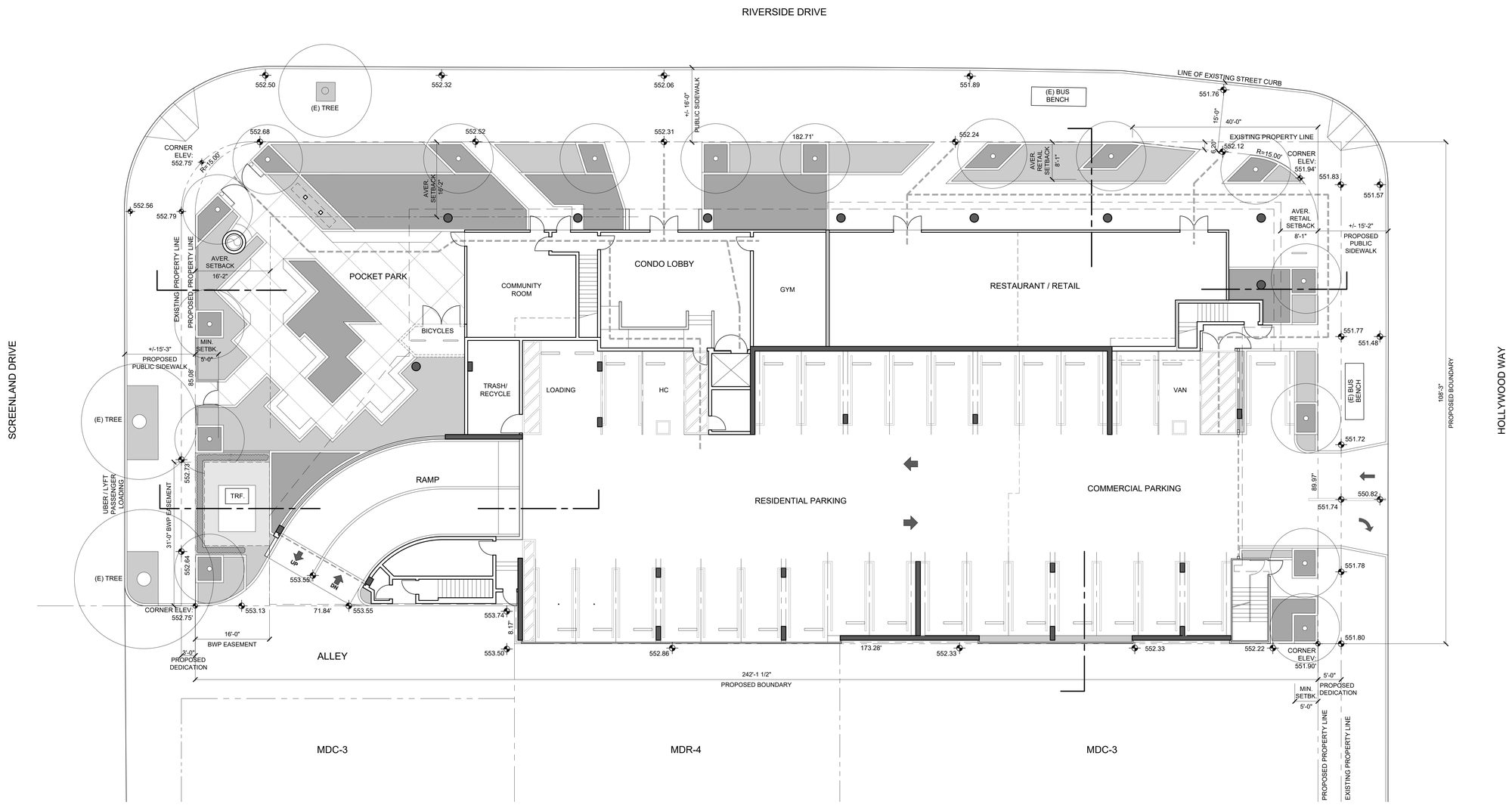

SITE PLAN

SCALE 1"=10'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

SITE PLAN

SHEET NUMBER

A1.1

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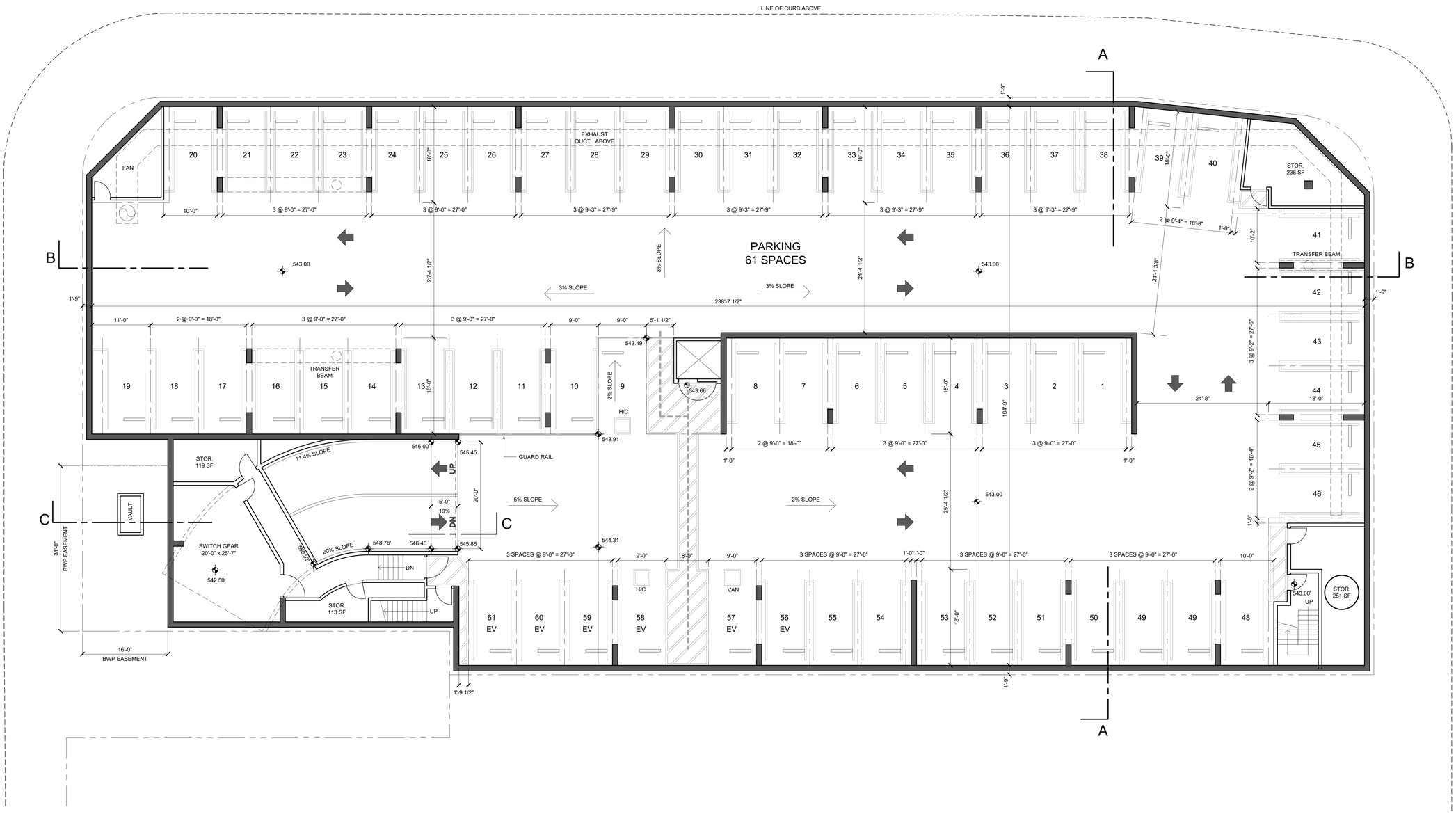

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

PARKING LEVEL PLAN

SHEET NUMBER

A2.0

PARKING LEVEL PLAN

SCALE 1/8"=1'-0"

1

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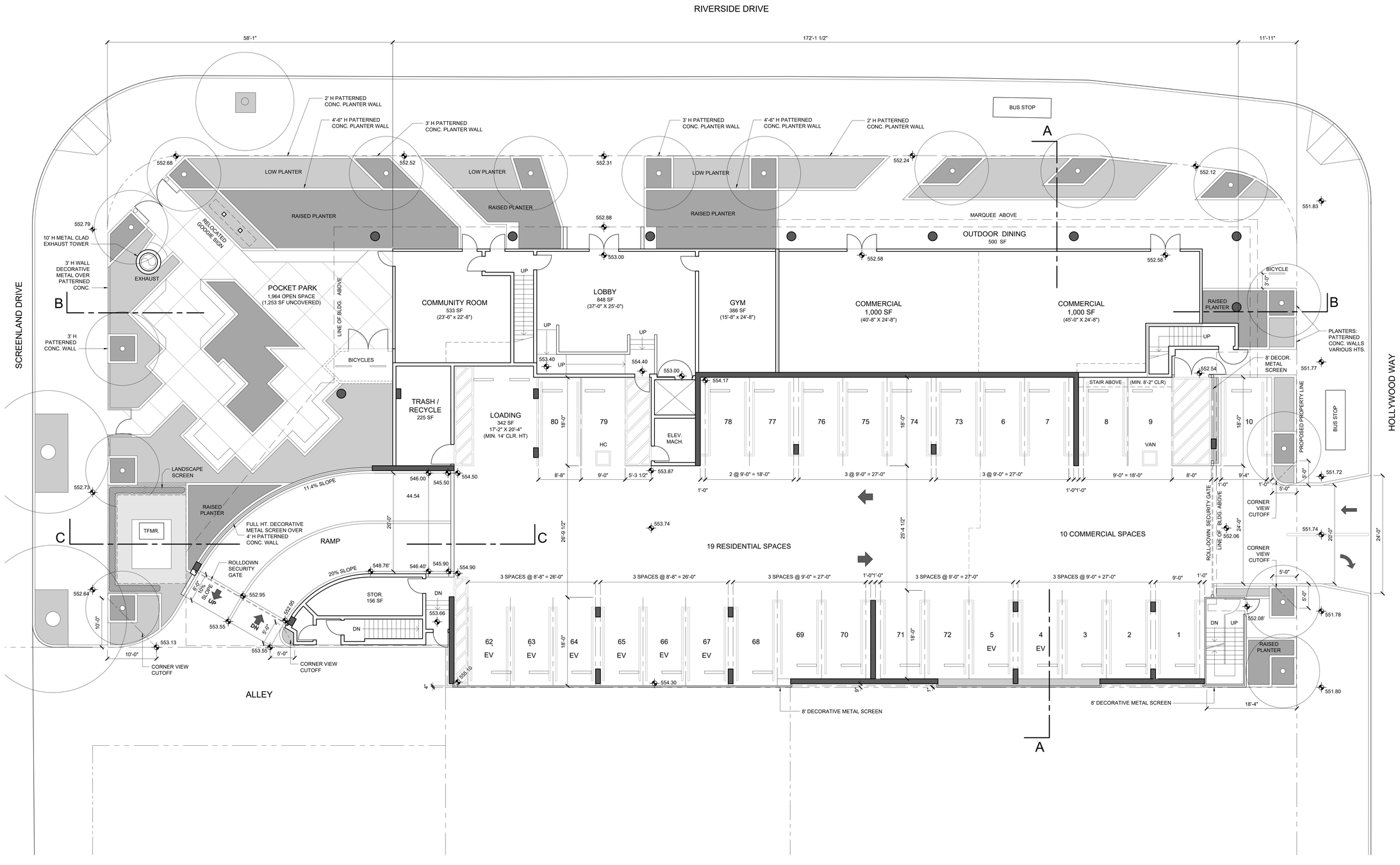

GROUND FLOOR PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

GROUND FLOOR PLAN

SHEET NUMBER

A2.1

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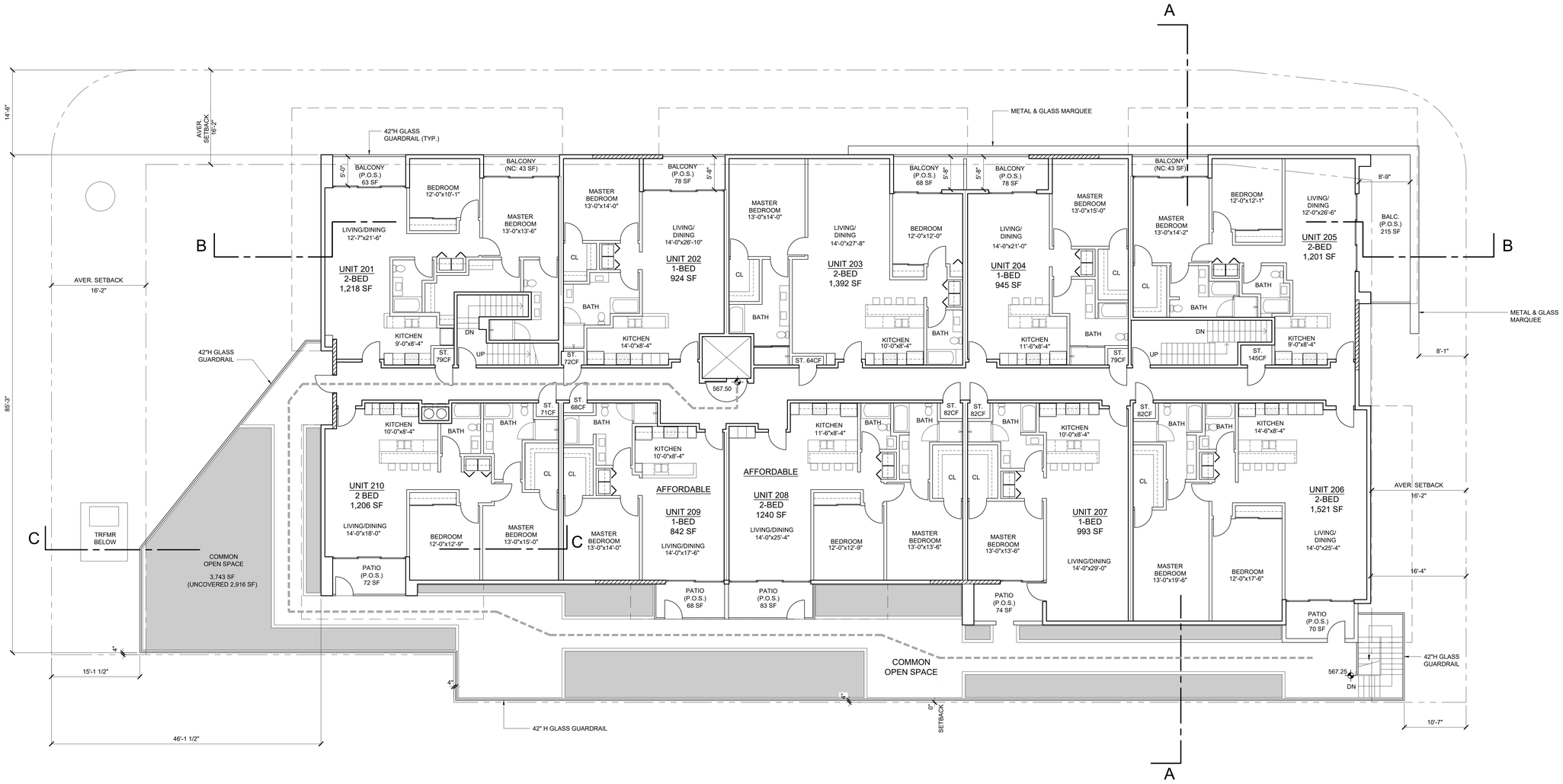

SECOND FLOOR PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A2.2

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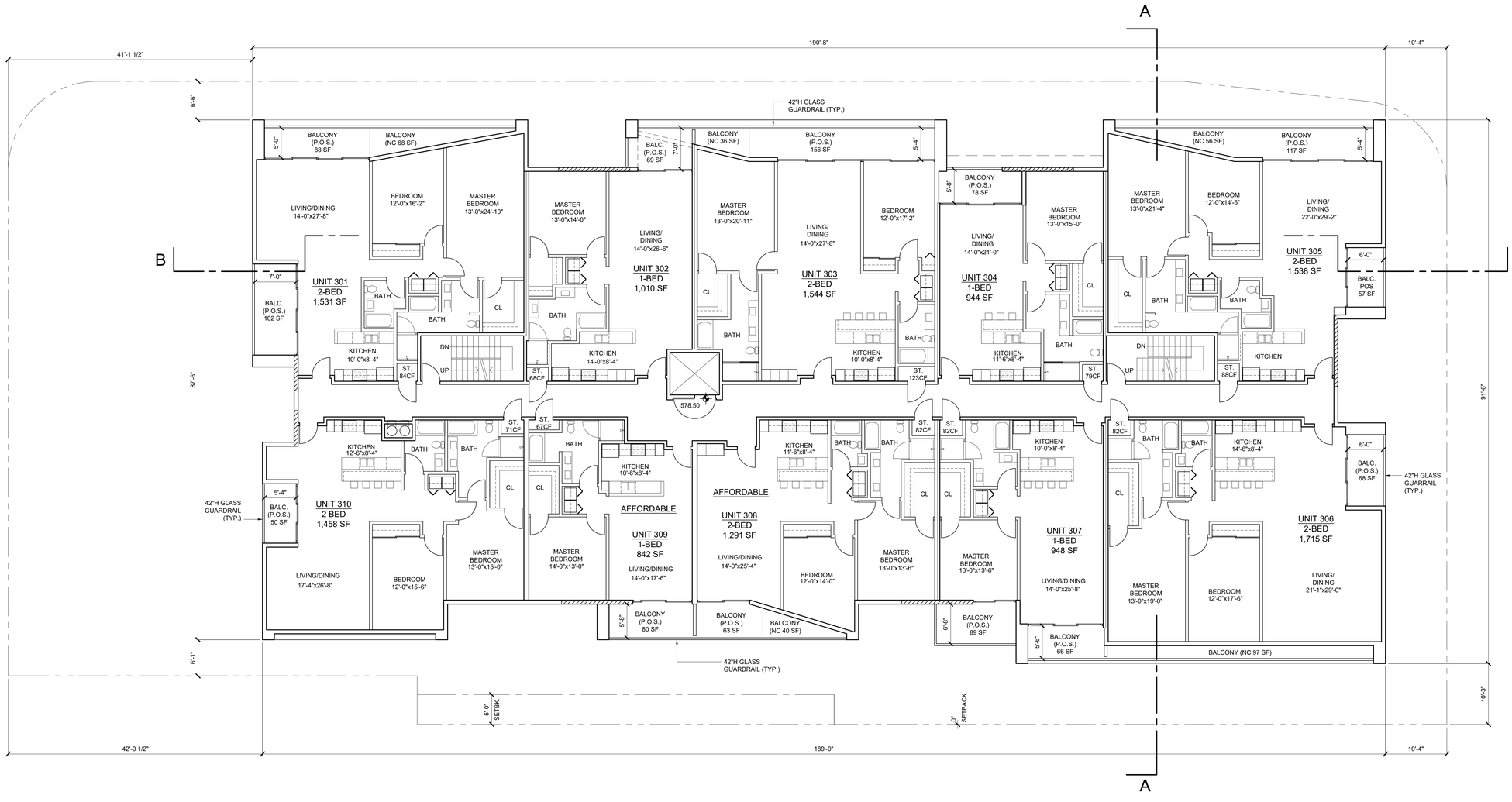

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A2.3

THIRD FLOOR PLAN

SCALE 1/8"=1'-0"

1

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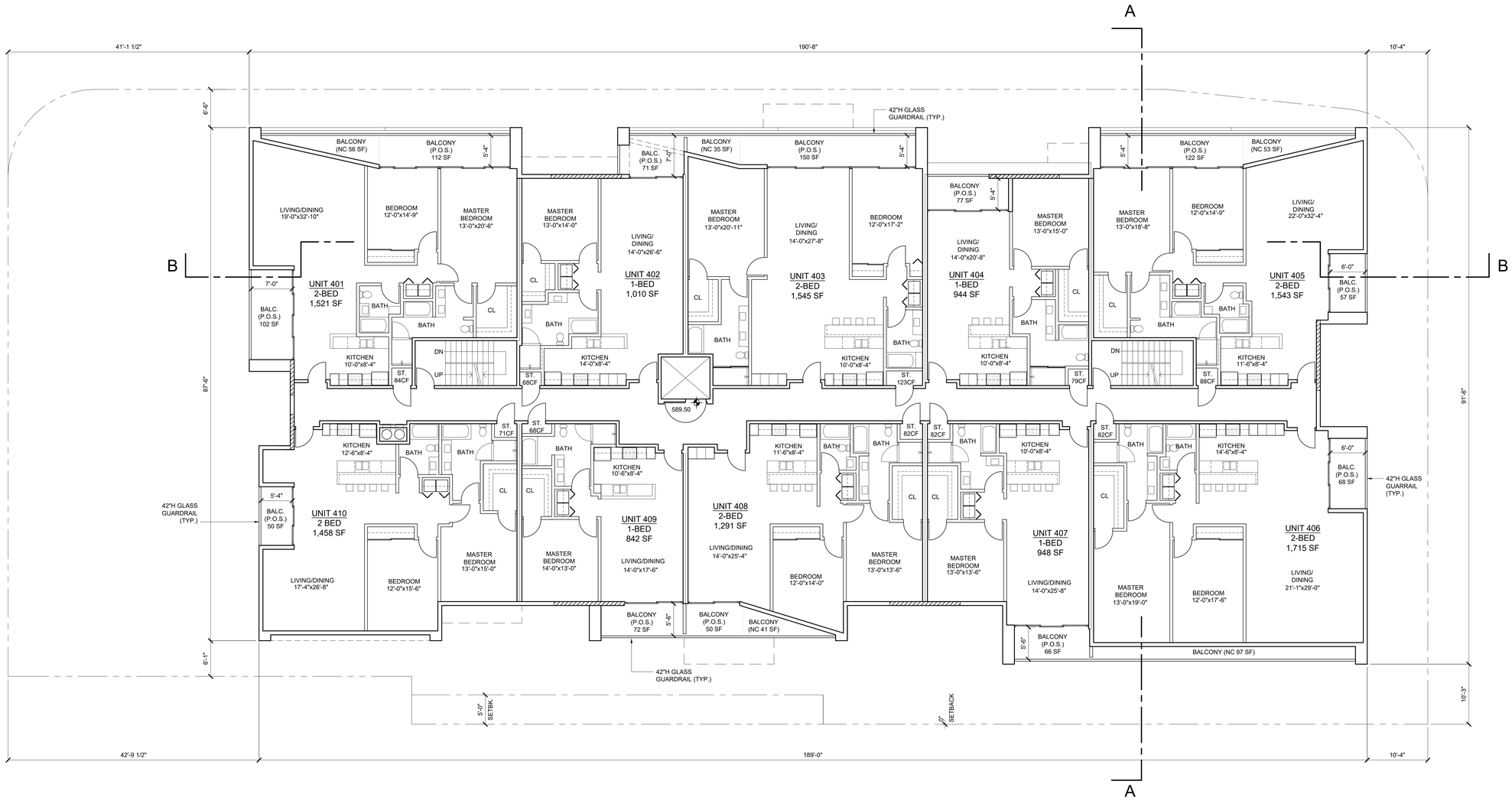

FOURTH FLOOR PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

FOURTH FLOOR PLAN

SHEET NUMBER

A2.4

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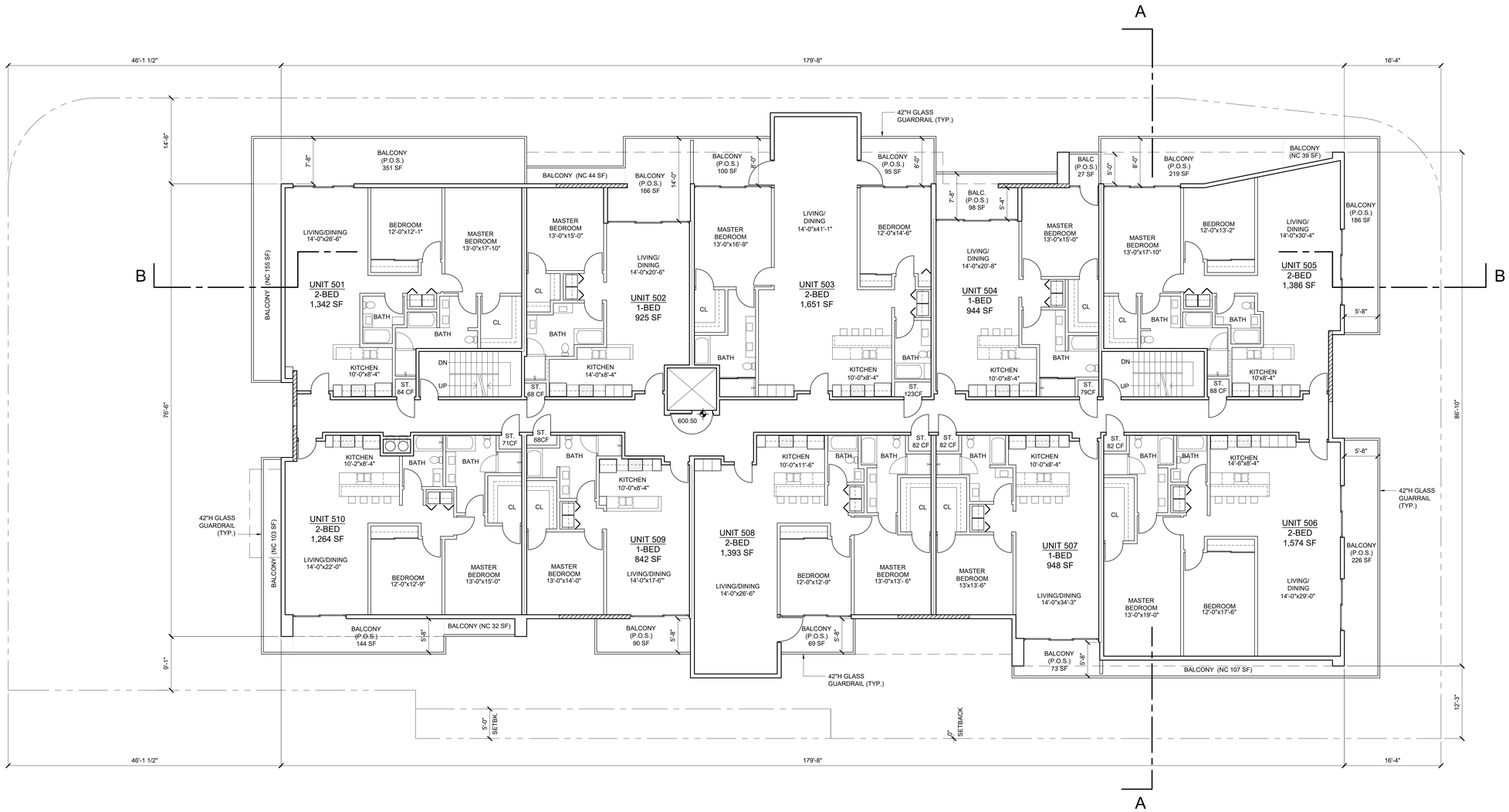

FIFTH FLOOR PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

FIFTH FLOOR PLAN

SHEET NUMBER

A2.5

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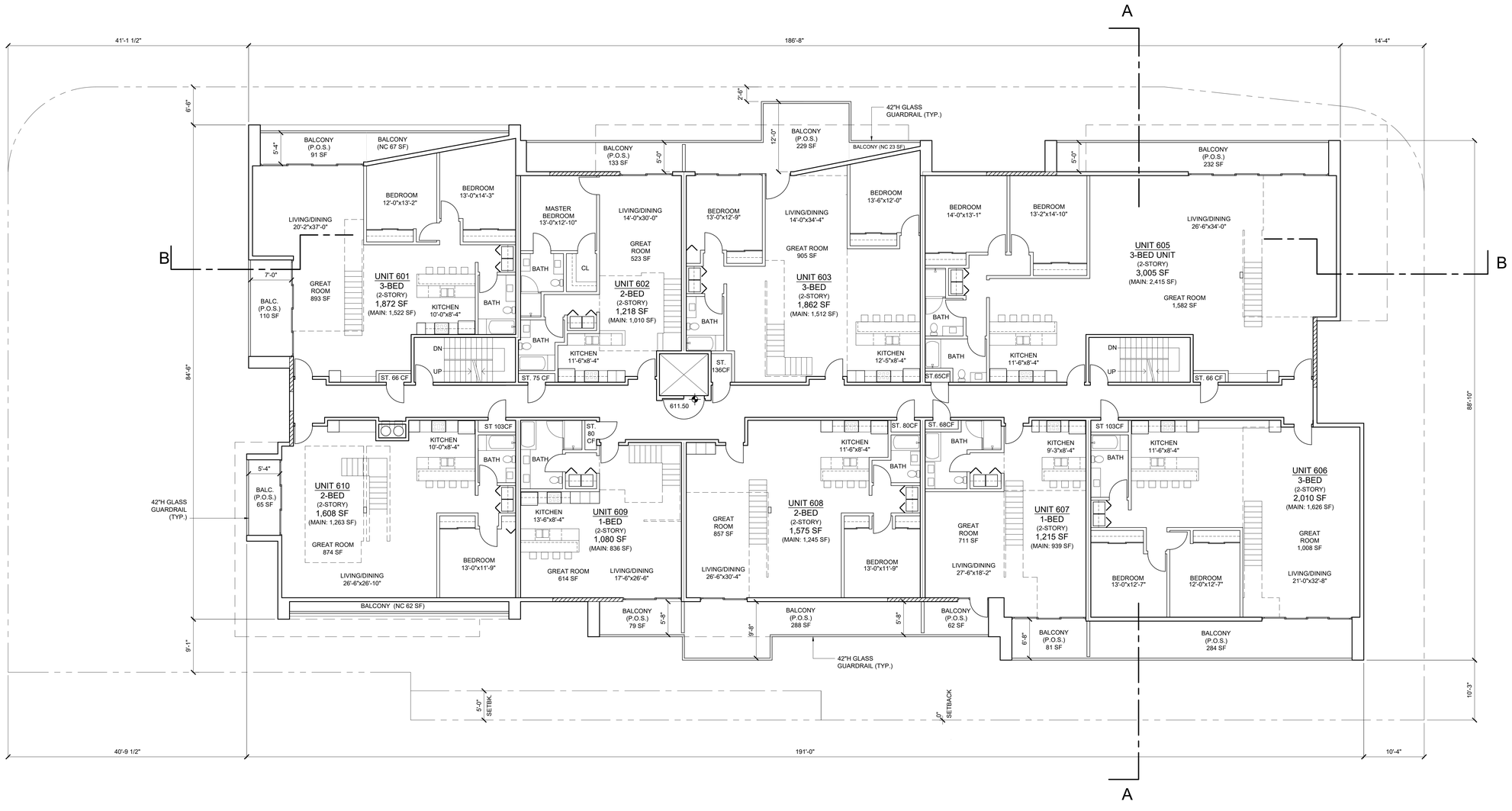

SIXTH FLOOR PLAN

SCALE 1/8"=1'-0"

1

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3700 W. RIVERSIDE DRIVE
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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

SIXTH FLOOR PLAN

SHEET NUMBER

A2.6

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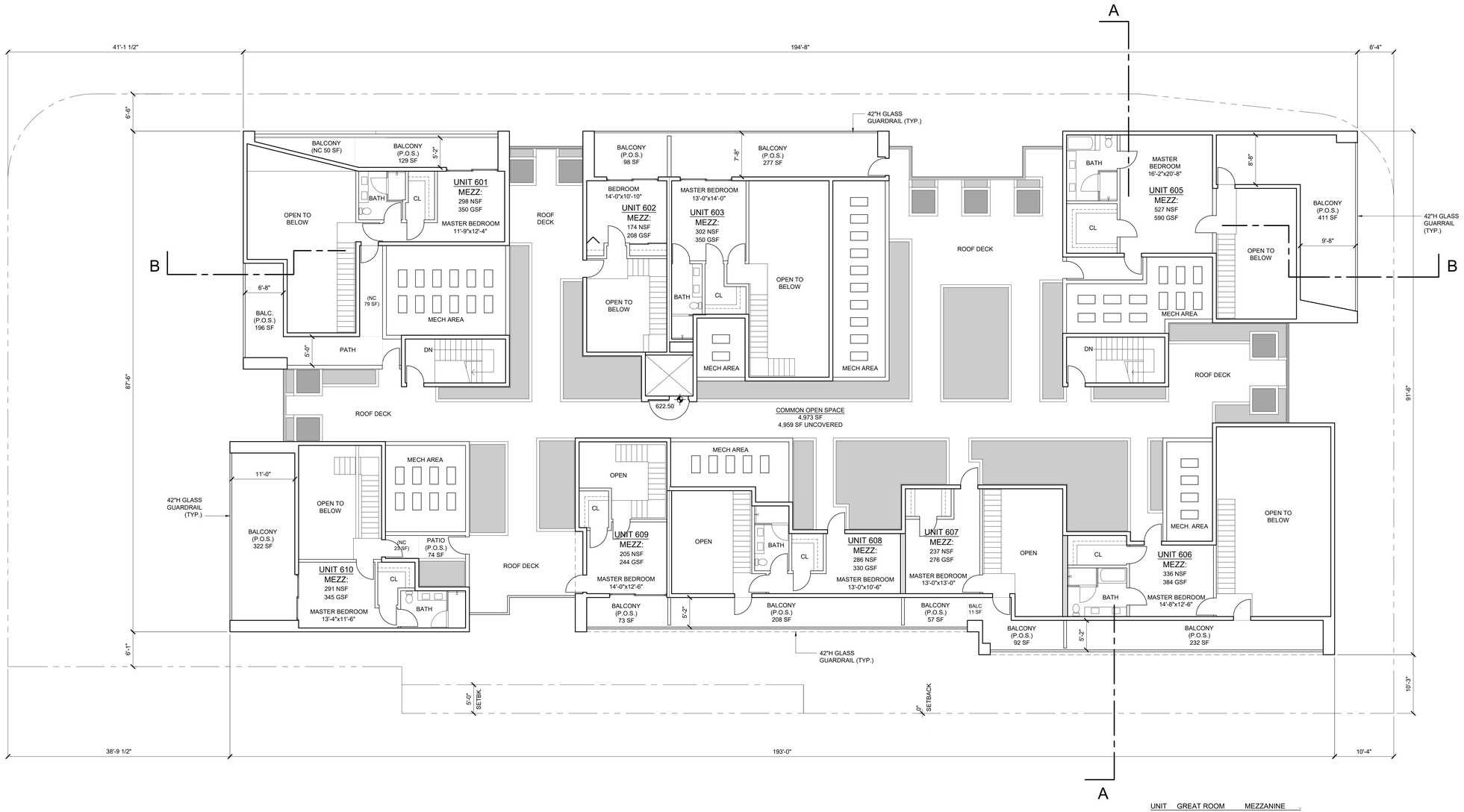

UNIT	GREAT ROOM	MEZZANINE	
		ALLOWED	PROPOSE
601	893 SF	298 SF	298 SF
602	523 SF	174 SF	174 SF
603	905 SF	302 SF	302 SF
605	1,582 SF	527 SF	527 SF
606	1,008 SF	336 SF	336 SF
607	711 SF	237 SF	237 SF
608	857 SF	286 SF	286 SF
609	614 SF	205 SF	205 SF
610	874 SF	291 SF	291 SF

MEZZANINE LEVEL & ROOF PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

MEZZANINE LEVEL & ROOF PLAN

SHEET NUMBER

A2.7

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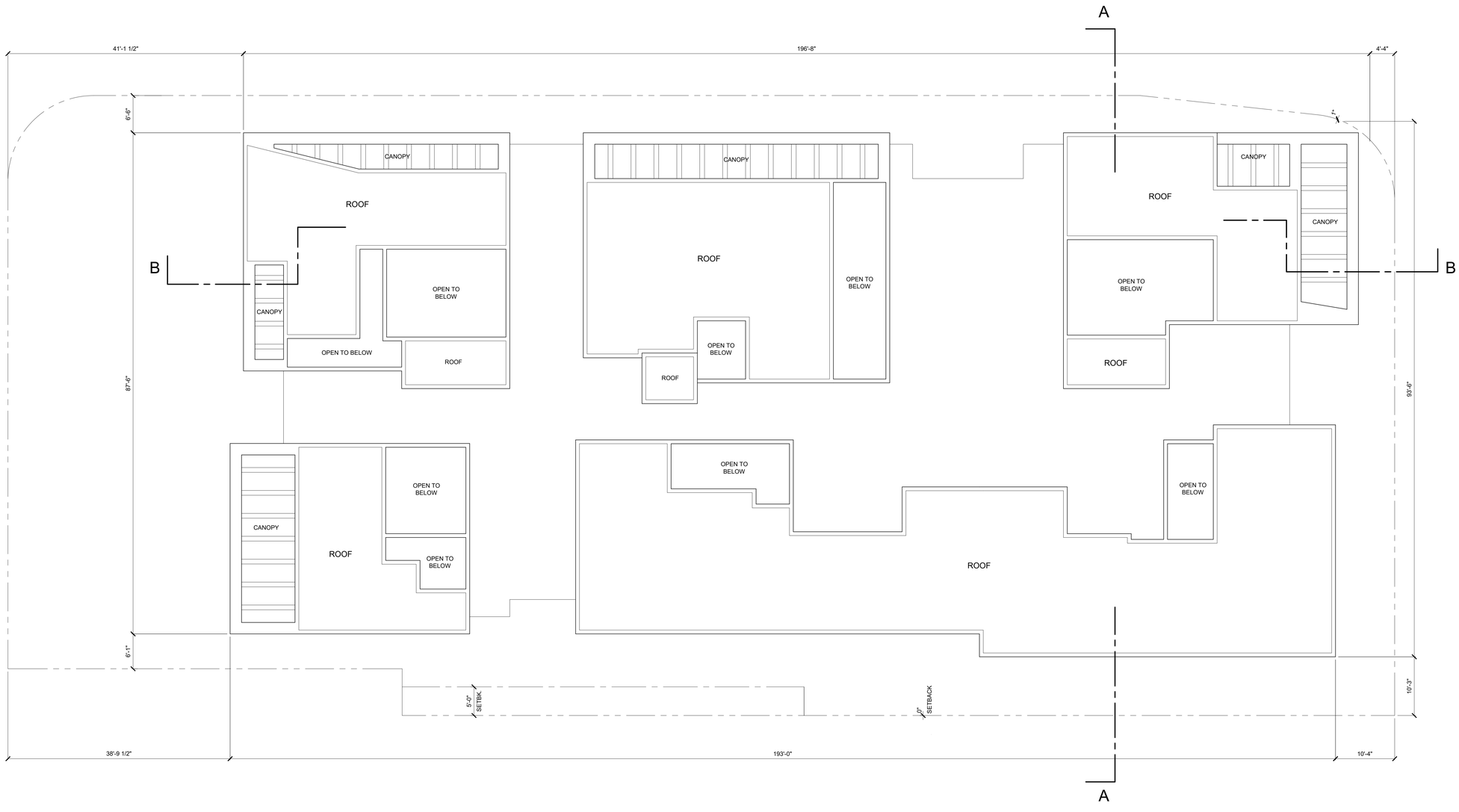

UPPER ROOF PLAN

SCALE 1/8"=1'-0"

1

ADVANCED ARCHITECTURE

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BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

UPPER ROOF PLAN

SHEET NUMBER

A2.8

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EXTERIOR MATERIALS:

CONC-1
CAST IN PLACE BOARD FORMED CONCRETE. ARCHITECTURAL GRADE. FORMWORK TO IMPRINT 6" NOMINAL HORIZONTAL WOOD BANDS PATTERN ON CONCRETE VISIBLE SURFACES, FORMWORK INTERIOR TO BE SHAPED TO ALLOW FOR BLEEDING JOINTS BETWEEN 6" WOOD BANDS. FILL AND PATCH FORMWORK PANEL FASTENERS NOT TO BE NOTICEABLE. WHEN EXPOSED, POLISH TOP EXPOSED SURFACE OF WALLS.

GL-1
INSULATED GLAZING UNIT. USE VITRO ARCHITECTURAL GLASS (FORMERLY PPG GLASS) ¼" SOLARBAN 70XL SOLARBLUE SURFACE #2, ½" AIRSPACE, ¼"CLEAR GLASS. SHGC VALUE .23. CONTACT: LOUIS PLASCENCIA 323.353.1563. LPLASCENCIA@OBE.COM.
NOTE: ALL RESIDENTIAL LEVELS.
GLASS REFLECTIVITY 8%.

GL-2
INSULATED GLAZING UNIT. USE VITRO ARCHITECTURAL GLASS (FORMERLY PPG GLASS) SOLARBAN 70XL (2). FINISH: CLEAR + CLEAR GLASS. SHGC VALUE .27. CONTACT: LOUIS PLASCENCIA 323.353.1563. LPLASCENCIA@OBE.COM.
NOTE: GROUND FLOOR GLASS.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

GL-3
TRANSLUCENT GLASS. USE VANCEVA ARCTIC SNOW COLOR CODE 0009. CONTACT: MICHAEL ONDRUS 419.705.6857.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

GL-4
GUARDRAILS CLEAR GLASS. USE C.R. LAURENCE GLASS GUARDRAIL ASSEMBLY.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

MT-1
PAINTED ALUMINUM MULLIONS. USE PPG DURANAR UC51595XL MEDIUM GRAY. CONTACT: 888.PPG.IDEA. WWW.PPGMETALCOATINGS.COM

MT-2
FORMED METAL PANEL. USE MITSUBISHI CHEMICAL COMPOSITES AMERICA, INC. ALPOLIC MICA MZG GREY 4MM. FASTENING TO PANEL FRAMEWORK TO BE ADHESIVES AND/OR HIGH BOND TAPES - NO RIVETS OR THREADED FASTENERS VISIBLE FROM EXTERIOR (INCLUDES ALL SITELINES AND JOINT CONDITIONS). CONTACT: ROBERT DUKER 757.404.7658. DUKER@ALPOLIC.COM.

MT-3
PERFORATED METAL SCREEN PANEL ASSEMBLY ON EXPOSED TOP AND BOTTOM TRACKS. USE MOZ LASER CUT ALUMINUM MORPH PATTERN. FINSH: DARK GREY METALLIC POWDER. CONTACT: STEVE NAVIN 310.309.9390. STEVE@PREMIERSALES.US.

MT-4
CORRUGATED METAL CLADDING. MANUFACTURER TO BE: AEP SPAN. PRODUCT TO BE: REVERSED BOX RIB. FINISH TO BE DURA TECH 5000 COATING. COLOR TO BE: COOL MIDNIGHT BRONZE. AEP SPAN 800.733.4955 WWW.AEPSPAN.COM.

PT-1
EXTERIOR BASE PAINT. USE SHERWIN-WILLIAMS SW 7669 SUMMIT GRAY.

ST-1
EXTERIOR STUCCO CEMENT PLASTER. USE LA HABRA SBMF (SANTA BARBARA MISSION FINISH), STEEL TROWELED SMOOTH FINISH. EXTERIOR COLOR COAT STUCCO PLASTER. BASE COLOR TO BE BASE 200 X-16 SILVER GREY. STUCCO TO BE PAINTED PT-1. CONTACT: TED JONES 714.778.2266.

WD-1
EXTERIOR WOOD CLADDING. USE PRODEMA PRODEX. FINISH: LIGHT BROWN. CONTACT: STEVE FOSTER 626.253.1814. STEVE@FOSTERAP.COM.

EXTERIOR WINDOWS

EXTERIOR WINDOWS TO BE FLOOR TO CEILING STOREFRONT. FINISH TO BE MT-1. FRAMES TO BE 2¼" WIDE. USE "US ALUMINUM" STOREFRONT OR EQUAL.

EXTERIOR DOORS

EXTERIOR DOORS TO BE GLAZED AND PART OF "US ALUMINUM" OR EQUAL STOREFRONT SYSTEM. FINISH OF METAL FRAMES TO BE MT-1. FRAMES TO BE 2¼" WIDE MINIMUM.

EXTERIOR LIGHT FIXTURES

FOR GROUND FLOOR LIGHTING SEE LIGHTING PLAN SHEET.

MARQUEE ON NORTH AND EAST FAÇADE AT GROUND FLOOR TO BE INTERNALLY ILLUMINATED WITH CONCEALED CONTINUOUS LED STRIPS BEHIND TRANLUSCENT GLAZING GL-3. LED LIGHTING STRIPS THEMSELVES WILL NOT BE VSIBLE.

ALL EXTERIOR VISIBLE LIGHTS ON FLOORS 2 to 7 TO BE RECESSED IN OVERHEAD SOFFITS. USE 4" DIAMETER RECESSED EXTERIOR LED DOWNLIGHTS. USE LITHONIA WF4, TRIM TO BE BRUSHED NICKLE.

NORTH ELEVATION

SCALE	
1/8"=1'-0"	1

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ISSUE DESCRIPTION	
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CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

NORTH ELEVATION

SHEET NUMBER

A3.1

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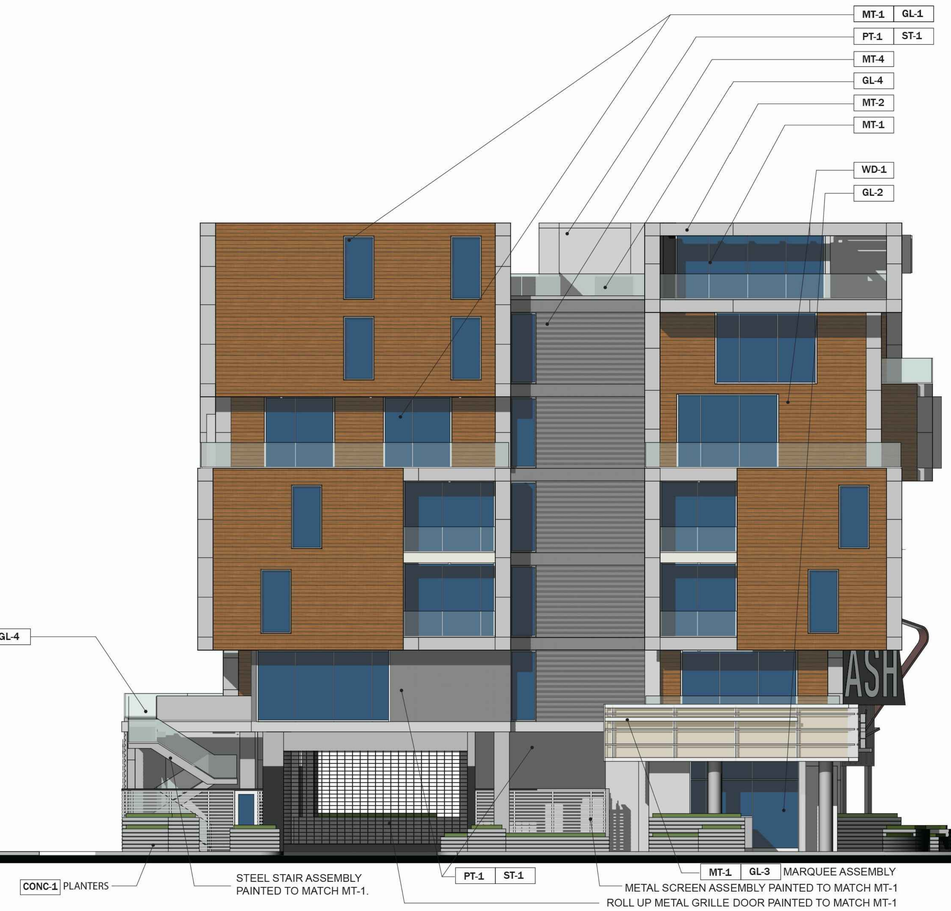
WEST ELEVATION



EAST ELEVATION

EXTERIOR MATERIALS:

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NOTE: ALL RESIDENTIAL LEVELS.
GLASS REFLECTIVITY 8%.

GL-2
INSULATED GLAZING UNIT. USE VITRO ARCHITECTURAL GLASS (FORMERLY PPG GLASS) SOLARBAN 70XL (2). FINISH: CLEAR + CLEAR GLASS. SHGC VALUE .27. CONTACT: LOUIS PLASCENCIA 323.353.1563. LPLASCENCIA@OBE.COM.
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EXTERIOR STUCCO CEMENT PLASTER. USE LA HABRA SBMF (SANTA BARBARA MISSION FINISH), STEEL TROWELED SMOOTH FINISH. EXTERIOR COLOR COAT STUCCO PLASTER. BASE COLOR TO BE BASE 200 X-16 SILVER GREY. STUCCO TO BE PAINTED PT-1. CONTACT: TED JONES 714.778.2266.

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ADVANCED ARCHITECTURE

3324 GRAND VIEW
LOS ANGELES, CALIFORNIA 90066

TELEPHONE (310) 748-7649
E-MAIL HRAZTAN@STRUERE.COM

WWW.STRUERE.COM

LICENSED ARCHITECT
HRAZTAN ZEITLIAN
28719
RENEWAL DATE:
04/30/21
STATE OF CALIFORNIA

3700 W. RIVERSIDE INVESTMENTS. LLC

127 N. MADISON AVE., SUITE 200
PASADENA, CA 91101

3700 RIVERSIDE DRIVE

MIXED-USE PROJECT

3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

EAST & WEST ELEVATIONS

SHEET NUMBER

A3.2

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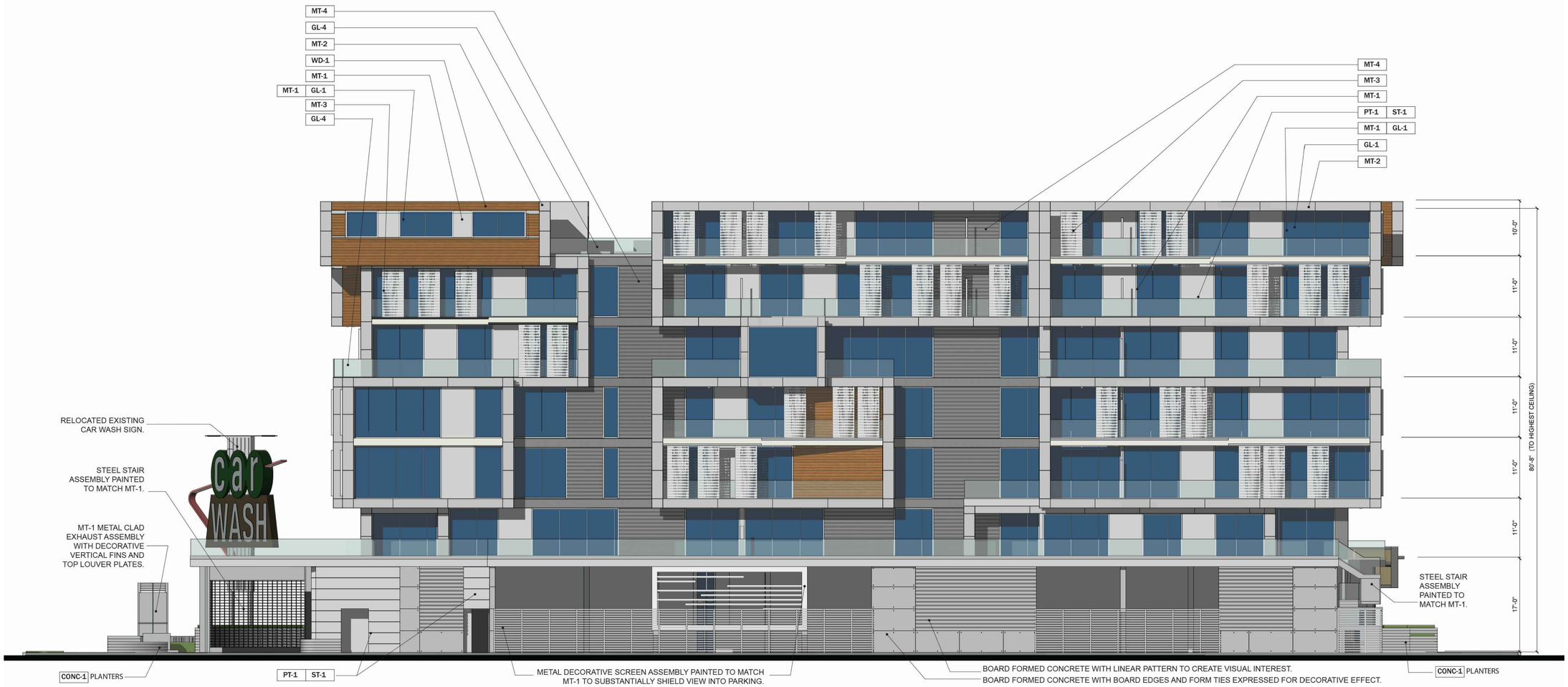

EXTERIOR MATERIALS:

CONC-1
CAST IN PLACE BOARD FORMED CONCRETE. ARCHITECTURAL GRADE. FORMWORK TO IMPRINT 6" NOMINAL HORIZONTAL WOOD BANDS PATTERN ON CONCRETE VISIBLE SURFACES, FORMWORK INTERIOR TO BE SHAPED TO ALLOW FOR BLEEDING JOINTS BETWEEN 6" WOOD BANDS. FILL AND PATCH FORMWORK PANEL FASTENERS NOT TO BE NOTICEABLE. WHEN EXPOSED, POLISH TOP EXPOSED SURFACE OF WALLS.

GL-1
INSULATED GLAZING UNIT. USE VITRO ARCHITECTURAL GLASS (FORMERLY PPG GLASS) ¼" SOLARBAN 70XL SOLARBLUE SURFACE #2, ½" AIRSPACE, ¼"CLEAR GLASS. SHGC VALUE .23. CONTACT: LOUIS PLASCENCIA 323.353.1563. LPLASCENCIA@OBE.COM.
NOTE: ALL RESIDENTIAL LEVELS.
GLASS REFLECTIVITY 8%.

GL-2
INSULATED GLAZING UNIT. USE VITRO ARCHITECTURAL GLASS (FORMERLY PPG GLASS) SOLARBAN 70XL (2). FINISH: CLEAR + CLEAR GLASS. SHGC VALUE .27. CONTACT: LOUIS PLASCENCIA 323.353.1563. LPLASCENCIA@OBE.COM.
NOTE: GROUND FLOOR GLASS.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

GL-3
TRANSLUCENT GLASS. USE VANCEVA ARCTIC SNOW COLOR CODE 0009. CONTACT: MICHAEL ONDRUS 419.705.6857.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

GL-4
GUARDRAILS CLEAR GLASS. USE C.R. LAURENCE GLASS GUARDRAIL ASSEMBLY.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

MT-1
PAINTED ALUMINUM MULLIONS. USE PPG DURANAR UC51595XL MEDIUM GRAY. CONTACT: 888.PPG.IDEA. WWW.PPGMETALCOATINGS.COM

MT-2
FORMED METAL PANEL. USE MITSUBISHI CHEMICAL COMPOSITES AMERICA, INC. ALPOLIC MICA MZG GREY 4MM. FASTENING TO PANEL FRAMEWORK TO BE ADHESIVES AND/OR HIGH BOND TAPES - NO RIVETS OR THREADED FASTENERS VISIBLE FROM EXTERIOR (INCLUDES ALL SITELINES AND JOINT CONDITIONS). CONTACT: ROBERT DUKER 757.404.7658. DUKER@ALPOLIC.COM.

MT-3
PERFORATED METAL SCREEN PANEL ASSEMBLY ON EXPOSED TOP AND BOTTOM TRACKS. USE MOZ LASER CUT ALUMINUM MORPH PATTERN. FINSH: DARK GREY METALLIC POWDER. CONTACT: STEVE NAVIN 310.309.9390. STEVE@PREMIERSALES.US.

MT-4
CORRUGATED METAL CLADDING. MANUFACTURER TO BE: AEP SPAN. PRODUCT TO BE: REVERSED BOX RIB. FINISH TO BE DURA TECH 5000 COATING. COLOR TO BE: COOL MIDNIGHT BRONZE. AEP SPAN 800.733.4955 WWW.AEPSPAN.COM.

PT-1
EXTERIOR BASE PAINT. USE SHERWIN-WILLIAMS SW 7669 SUMMIT GRAY.

ST-1
EXTERIOR STUCCO CEMENT PLASTER. USE LA HABRA SBMF (SANTA BARBARA MISSION FINISH), STEEL TROWELED SMOOTH FINISH. EXTERIOR COLOR COAT STUCCO PLASTER. BASE COLOR TO BE BASE 200 X-16 SILVER GREY. STUCCO TO BE PAINTED PT-1. CONTACT: TED JONES 714.778.2266.

WD-1
EXTERIOR WOOD CLADDING. USE PRODEMA PRODEX. FINISH: LIGHT BROWN. CONTACT: STEVE FOSTER 626.253.1814. STEVE@FOSTERAP.COM.

EXTERIOR WINDOWS

EXTERIOR WINDOWS TO BE FLOOR TO CEILING STOREFRONT. FINISH TO BE MT-1. FRAMES TO BE 2¼" WIDE. USE "US ALUMINUM" STOREFRONT OR EQUAL.

EXTERIOR DOORS

EXTERIOR DOORS TO BE GLAZED AND PART OF "US ALUMINUM" OR EQUAL STOREFRONT SYSTEM. FINISH OF METAL FRAMES TO BE MT-1. FRAMES TO BE 2¼" WIDE MINIMUM.

EXTERIOR LIGHT FIXTURES

FOR GROUND FLOOR LIGHTING SEE LIGHTING PLAN SHEET.

MARQUEE ON NORTH AND EAST FAÇADE AT GROUND FLOOR TO BE INTERNALLY ILLUMINATED WITH CONCEALED CONTINUOUS LED STRIPS BEHIND TRANLUSCENT GLAZING GL-3. LED LIGHTING STRIPS THEMSELVES WILL NOT BE VSIBLE.

ALL EXTERIOR VISIBLE LIGHTS ON FLOORS 2 to 7 TO BE RECESSED IN OVERHEAD SOFFITS. USE 4" DIAMETER RECESSED EXTERIOR LED DOWNLIGHTS. USE LITHONIA WF4, TRIM TO BE BRUSHED NICKLE.

SOUTH ELEVATION

SCALE 1/8"=1'-0"

1

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3700 RIVERSIDE DRIVE

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3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

SOUTH ELEVATION

SHEET NUMBER

A3.3

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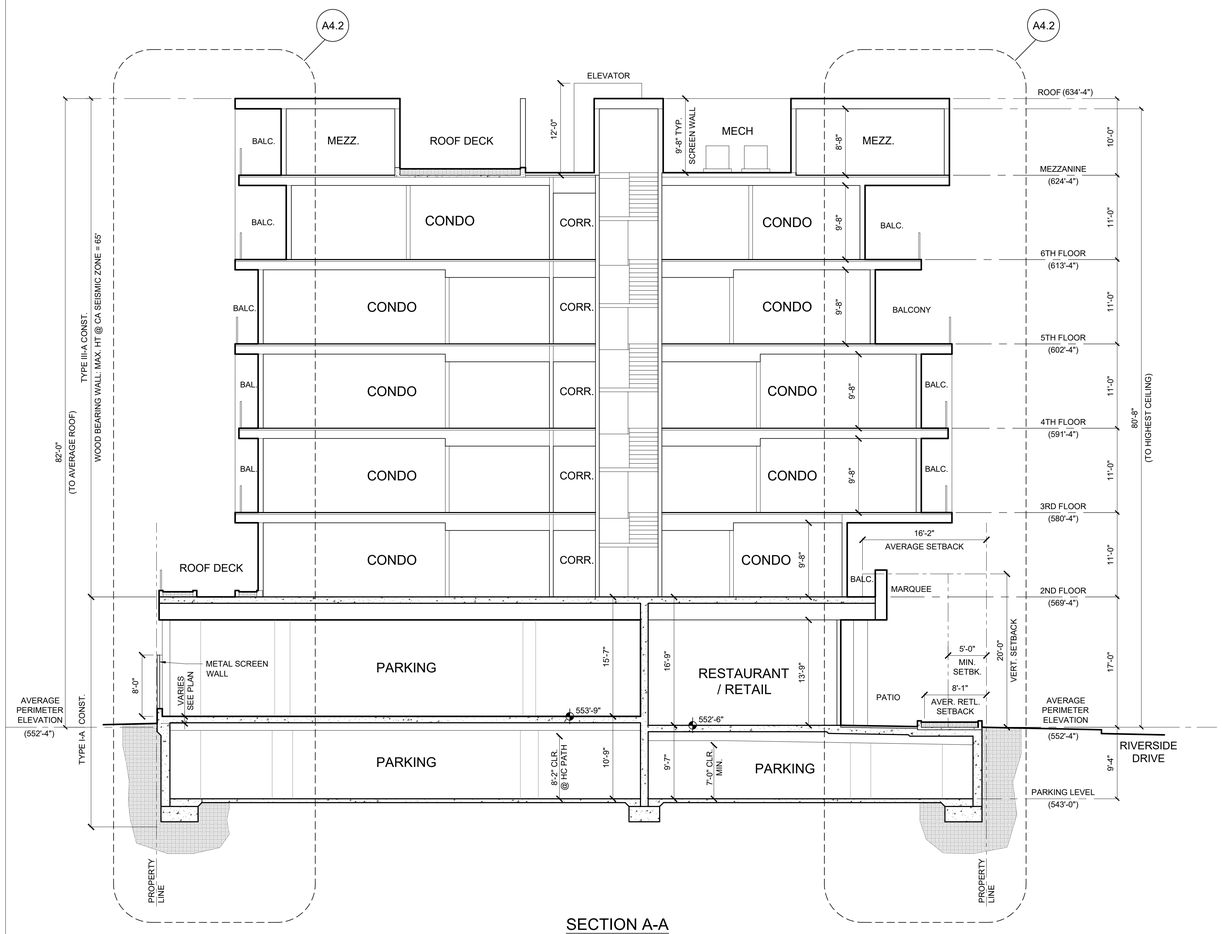

SECTION A-A

BUILDING CROSS SECTION

SCALE 1/8"=1'-0"

1

ADVANCED ARCHITECTURE

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

BUILDING CROSS SECTION

SHEET NUMBER

A4.1

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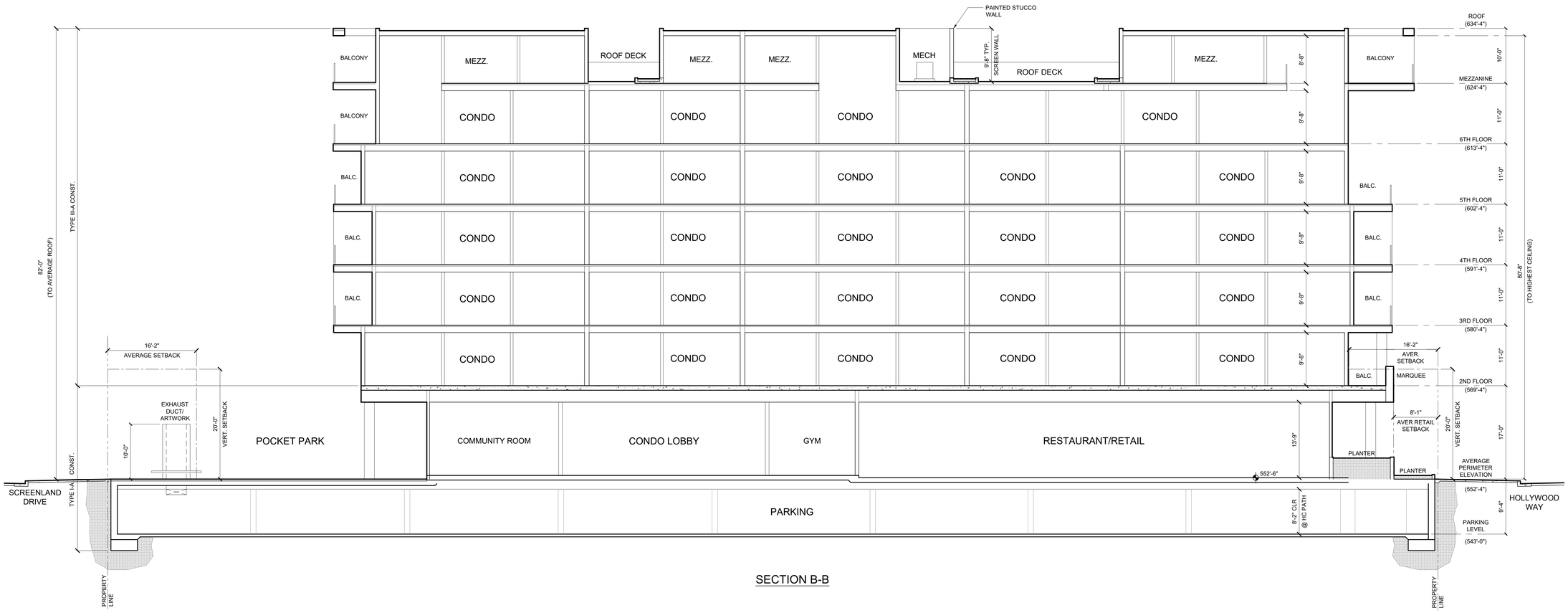
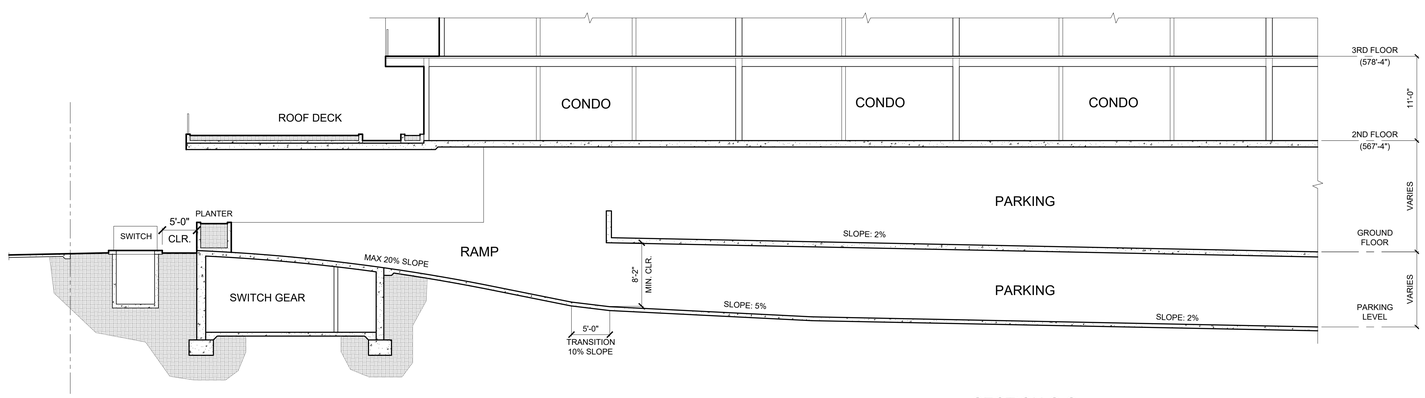


SECTION B-B



SECTION C-C

BUILDING TRANSVERSE SECTIONS

SCALE	
1/8"=1'-0"	1

STRUERE
ADVANCED ARCHITECTURE

3324 GRAND VIEW
LOS ANGELES, CALIFORNIA 90066

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RENEWAL DATE: 04/30/21
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CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

BUILDING TRANSVERSE SECTIONS

SHEET NUMBER

A4.2

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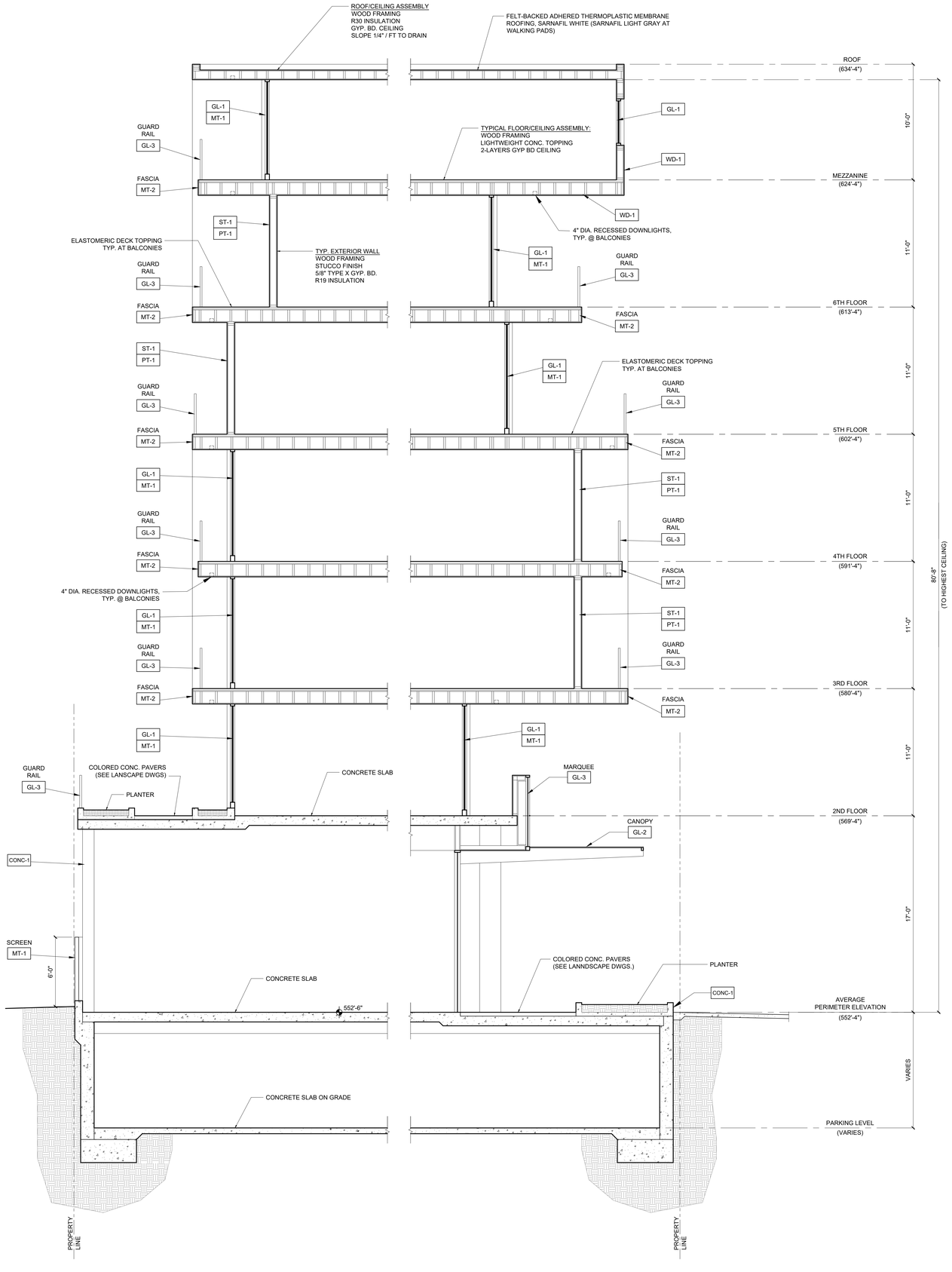

EXTERIOR WALL SECTIONS

SCALE 1/4"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9/30/19

SHEET TITLE

EXTERIOR WALL SECTIONS

SHEET NUMBER

A4.3

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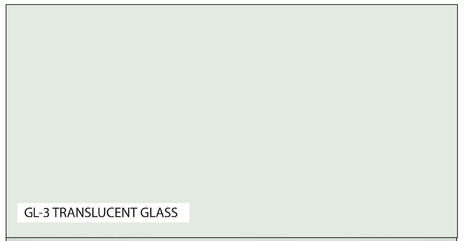
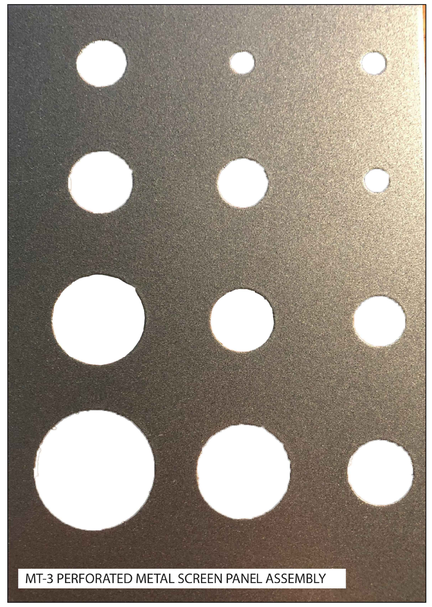
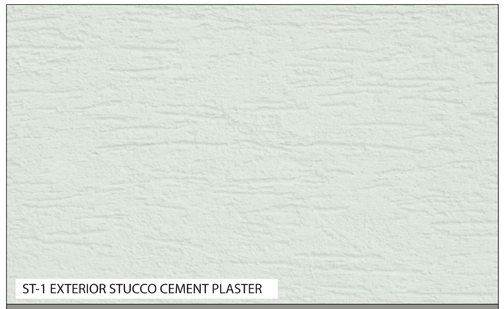
GL-1 INSULATED GLAZING UNIT


GL-3 TRANSLUCENT GLASS

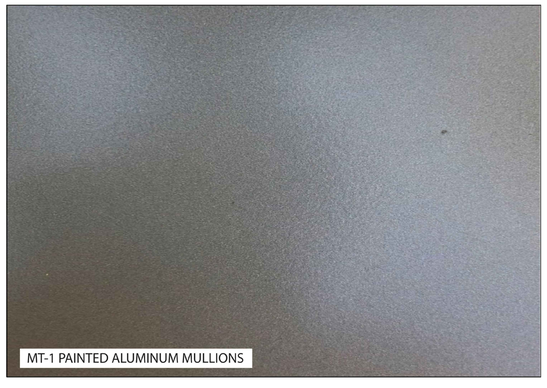
GL-2 INSULATED GLAZING UNIT


MT-3 PERFORATED METAL SCREEN PANEL ASSEMBLY


ST-1 EXTERIOR STUCCO CEMENT PLASTER

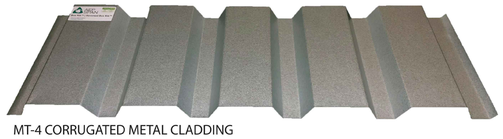
PT-1 EXTERIOR BASE PAINT

CONC-1 BOARD FORMED CONCRETE


MT-1 PAINTED ALUMINUM MULLIONS

WD-1 EXTERIOR WOOD CLADDING

MT-2 FORMED METAL PANEL


MT-4 CORRUGATED METAL CLADDING
COLORED COOL DARK BRONZE

EXTERIOR MATERIALS:

CONC-1
CAST IN PLACE BOARD FORMED CONCRETE. ARCHITECTURAL GRADE. FORMWORK TO IMPRINT 6" NOMINAL HORIZONTAL WOOD BANDS PATTERN ON CONCRETE VISIBLE SURFACES, FORMWORK INTERIOR TO BE SHAPED TO ALLOW FOR BLEEDING JOINTS BETWEEN 6" WOOD BANDS. FILL AND PATCH FORMWORK PANEL FASTENERS NOT TO BE NOTICEABLE. WHEN EXPOSED, POLISH TOP EXPOSED SURFACE OF WALLS.

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NOTE: ALL RESIDENTIAL LEVELS.
GLASS REFLECTIVITY 8%.

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NOTE: GROUND FLOOR GLASS.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

GL-3
TRANSLUCENT GLASS. USE VANCEVA ARCTIC SNOW COLOR CODE 0009. CONTACT: MICHAEL ONDRUS 419.705.6857.
GLASS REFLECTIVITY DOES NOT EXCEED 15%.

GL-4
GUARDRAILS CLEAR GLASS. USE C.R. LAURENCE GLASS GUARDRAIL ASSEMBLY.
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MT-2
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MT-4
CORRUGATED METAL CLADDING. MANUFACTURER TO BE: AEP SPAN. PRODUCT TO BE: REVERSED BOX RIB. FINISH TO BE DURA TECH 5000 COATING. COLOR TO BE: COOL MIDNIGHT BRONZE. AEP SPAN 800.733.4955 WWW.AEPSPAN.COM.

PT-1
EXTERIOR BASE PAINT. USE SHERWIN-WILLIAMS SW 7669 SUMMIT GRAY.

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EXTERIOR STUCCO CEMENT PLASTER. USE LA HABRA SBMF (SANTA BARBARA MISSION FINISH), STEEL TROWELED SMOOTH FINISH. EXTERIOR COLOR COAT STUCCO PLASTER. BASE COLOR TO BE BASE 200 X-16 SILVER GREY. STUCCO TO BE PAINTED PT-1. CONTACT: TED JONES 714.778.2266.

WD-1
EXTERIOR WOOD CLADDING. USE PRODEMA PRODEX. FINISH: LIGHT BROWN. CONTACT: STEVE FOSTER 626.253.1814. STEVE@FOSTERAP.COM.

MATERIAL SCHEDULE

STRUERE
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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR RE-SUBMITTAL	9 / 27 / 19

SHEET TITLE

MATERIAL SCHEDULE

SHEET NUMBER

A5.1

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CALIFORNIA SURVEYING SERVICE

R.J. Smith – L.S. 5189
Phone: (818) 957–3345
Email: randall2741@att.net
Job No. 2531

AS TO THE TITLE MATTERS HEREON, THE UNDERSIGNED HAS RELIED SOLELY UPON THE INFORMATION PROVIDED BY LAWYERS TITLE COMPANY IN THEIR PRELIMINARY REPOR DATED OCTOBER 17, 2017, FILE NO: 117040234. THE UNDERSIGNED MAKES NO STATEMENTS AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT TITLE REPORT.

TO: 3700 W. RIVERSIDE INVESTMENTS, LLC., A CALIFORNIA LIMITED LIABILITY COMPANY, AND LAWYERS TITLE COMPANY AND ITS SUCCESSORS AND/OR ASSIGNS.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE ON OCTOBER 2, 2017 UNDER THE UNDERSIGNED'S SUPERVISION AND IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 9, 10(a), 11(a), AND 14 OF TABLE "A" THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT, IN MY PROFESSIONAL OPPINION AS A LAND SURVEYOR LICENSED IN THE STATE OF CALIFORNIA THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATE: 10/27/17, REVISED 02/12/18

RANDALL J. SMITH, P.L.S. 5189

LICENSED LAND SURVEYOR
RANDALL J. SMITH
Exp. 06-30-19
No. 5189
STATE OF CALIFORNIA

BENCH MARK:

BM #1104–1 ELEVATION: 549.144 (FT)
2–1/2" BRASS CAP STMP CITY OF BURBANK BM 1104·1 AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF OLIVE AVENUE AND MAPLE STREET ABOUT 81 FEET NORTH OF THE CENTERLINE OF OLIVE AVENUE AND ABOUT 22 FEET WEST OF THE CENTERLINE OF MAPLE STREET. SET TOP NORTHWEST CORNER OF A 10X3.5 FOOT CATCH BASIN WEST SIDE OF MAPLE STREET AND ABOUT 10.5 FEET SOUTH OF F.H. #139.

LEGAL DESCRIPTION:

PARCEL 1:

THAT PORTION OF LOT 1 BLOCK 62 OF RANCHO PROVIDENCIA AND SCOTT TRACT, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGE 37, MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHERLY BOUNDARY OF RIVERSIDE DRIVE, SAID POINT BEING THE MOST NORTHERLY CORNER OF LOT 24, TRACT NO. 9440, AS PER MAP RECORDED IN BOOK 134 PAGES 53 AND 54 OF MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY; THENCE ALONG SAID SOUTHERLY LINE NORTH 67°00'20" EAST 50.71 FEET; THENCE SOUTH 22°59'40" EAST 108.16 FEET; THENCE SOUTH 67°00'45" WEST 70.16 FEET TO A POINT IN THE EASTERLY LINE OF THE ABOVE MENTIONED LOT 24; THENCE ALONG SAID EASTERLY LINE NORTH 22°59'40" WEST 82.25 FEET, TO AN ANGLE POINT IN SAID EASTERLY LINE; THENCE NORTH 67°00'20" EAST 19.45 FEET ALONG THE BOUNDARY OF SAID LOT 24; THENCE NORTH 22°59'40" WEST 25.90 FEET ALONG THE BOUNDARY OF SAID LOT 24 TO THE POINT OF BEGINNING.

PARCEL 2:

A. THAT PORTION OF LOT 1 IN BLOCK 62 OF RANCHO PROVIDENCIA AND SCOTT TRACT, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGE 37 ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF RIVERSIDE DRIVE, DISTANT 50.71 FEET NORTHEASTERLY FROM THE MOST NORTHERLY CORNER OF LOT 24 OF TRACT NO. 9440, AS PER MAP RECORDED IN BOOK 134 PAGES 53 AND 54 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG SAID SOUTHERLY LINE NORTH 67°00'20" EAST 108 FEET TO THE SOUTHWESTERLY LINE OF HOLLYWOOD WAY, 100 FEET WIDE; THENCE ALONG SAID SOUTHWEST LINE, SOUTH 22°50'40" EAST 58.17 FEET TO A LINE PARALLEL WITH THE SOUTHEAST LINE OF SAID LOT 1 AND DISTANT NORTHWESTERLY 125 FEET, MEASURED AT RIGHT ANGLES THEREFROM; THENCE ALONG SAID PARALLEL LINE, SOUTH 67°00'45" WEST 108 FEET; THENCE NORTH 22°59'40" WEST 58.16 FEET TO THE POINT OF BEGINNING.

B. ALL OF THE NORTH ONE–HALF OF THE NORTHWEST 50 FEET OF THE SOUTHEAST 125 FEET OF THE NORTHWEST 208.16 FEET OF LOT 1, BLOCK 62 OF RANCHO PROVIDENCIA AND SCOTT TRACT, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGE 47 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE NORTHEAST 30 FEET THEREOF IN THE STREET. ALSO EXCEPT THE WEST 70.16 FEET THEREOF.

C. THE SOUTH HALF OF THE NORTHWEST 50 FEET OF THE SOUTHEAST 125 FEET OF THE NORTHEAST 208.18 FEET OF LOT 1 IN BLOCK 62 OF RANCHO PROVIDENCIA AND SCOTT TRACT, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGE 47 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE NORTHEAST 30 FEET THEREOF IN THE STREET. ALSO EXCEPT THE SOUTHWEST 70.16 FEET THEREOF.

PARCEL 3:

LOT 24 OF TRACT NO. 9440, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 134 PAGES 53 AND 54, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, A PORTION OF SAID LAND IS INCLUDED WITHIN THE NORTHEASTERLY 208.16 FEET OF THE SOUTHWESTERLY 157.97 FEET OF LOT 1 IN BLOCK 62 OF THE RANCHO PROVIDENCIA AND SCOTT TRADE, AS PER MAP RECORDED IN BOOK 43 PAGE 47 ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4:

LOT 25 OF TRACT NO. 9440, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 134 PAGES 53 AND 54, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

VICINITY MAP
NO SCALE

N
1" = 20'

BASIS OF BEARINGS:

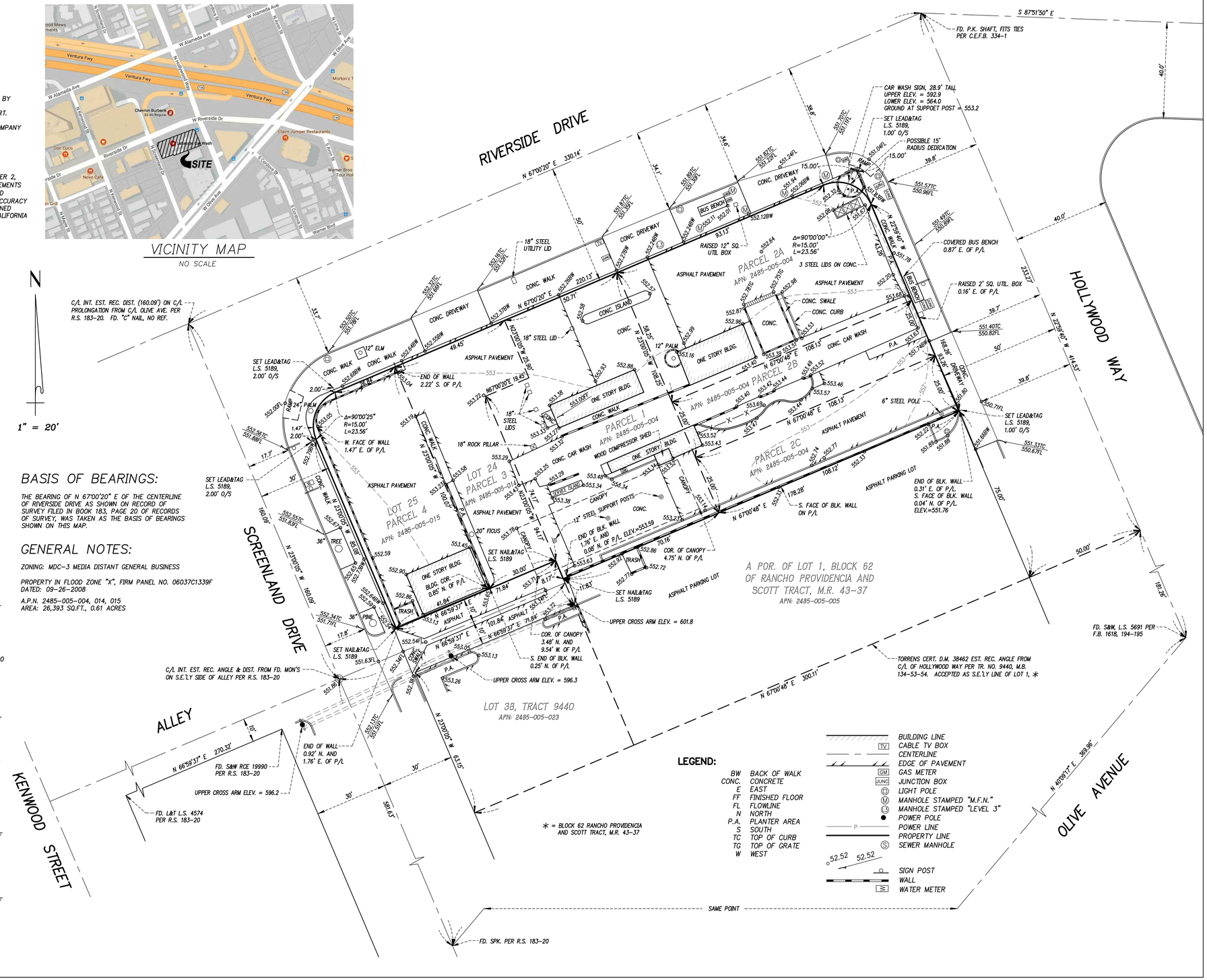
THE BEARING OF N 67°00'20" E OF THE CENTERLINE OF RIVERSIDE DRIVE AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 183, PAGE 20 OF RECORDS OF SURVEY, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

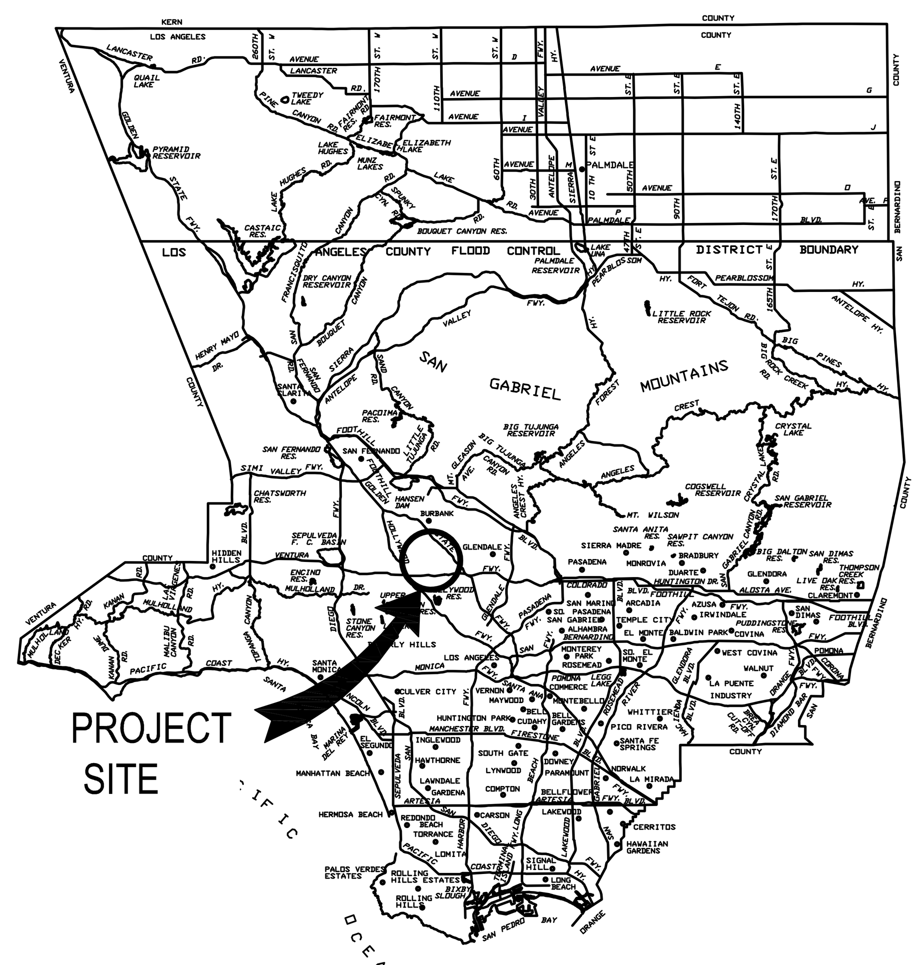
GENERAL NOTES:

ZONING: MDC–3 MEDIA DISTANT GENERAL BUSINESS

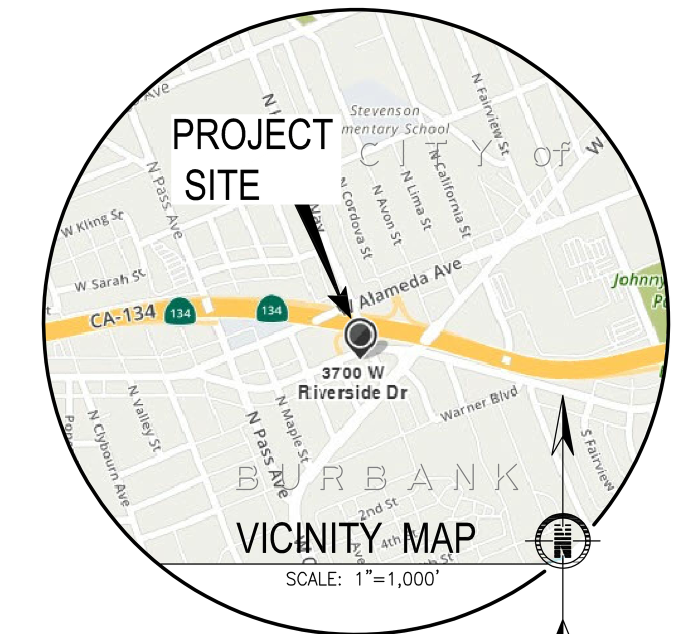
PROPERTY IN FLOOD ZONE "X", FIRM PANEL NO. 06037C1339F DATED: 09–26–2008

A.P.N. 2485–005–004, 014, 015
AREA: 26,393 SQ.FT., 0.61 ACRES





BURBANK, CALIFORNIA
MIXED-USE DEVELOPMENT
CONCEPTUAL GRADING PLAN



LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT **1** OF BLOCK **62**, **RANCHO PROVIDENCIA AND SCOTT TRACT**, IN THE CITY OF **BURBANK**, COUNTY OF **LOS ANGELES**, STATE OF CALIFORNIA, AS PER MAP RECORDED IN MAP BOOK **43 PG 37**, MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOT **24** AND **25** OF **TRACT NO. 9440**, IN THE CITY OF **BURBANK**, COUNTY OF **LOS ANGELES**, STATE OF CALIFORNIA, AS PER MAP RECORDED IN MAP BOOK **134 PGS 53 AND 54**, MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOCATION: 3700 WEST RIVERSIDE DRIVE, BURBANK, CA 91505

APN(S): 2485-005-004, 014, 015

GENERAL NOTES:

1. ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE BUILDING CODES ADOPTED BY CITY OF BURBANK IN 2016, BURBANK MUNICIPAL CODE (TITLE 9, CHAPTER 1) AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
2. ALL WORK INDICATED HEREON SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
3. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT/ENGINEER.
4. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
5. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
6. ANY MODIFICATIONS OR CHANGES TO THESE PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.

3\. PRIOR TO COMMENCING CONSTRUCTION CONTRACTOR SHALL VERIFY THE JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING THE LOCATION AND ELEVATION OF ALL SURFACE JOIN CONDITIONS, AND INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.

4\. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH BURBANK CODE, TITLE 9, SECTION 9-1-1-105.8 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 7:00 PM TO 7:00 AM, AND ON SUNDAYS AND HOLIDAYS.

5\. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT DISPOSAL SITES APPROVED BY THE BUILDING OFFICIAL OR AT A LEGAL DUMPSITE. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.

6\. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.

7\. NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.

8\. TRANSFER OF RESPONSIBILITY: IF THE CIVIL ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

9\. ALL GRADES AND CONTOURS INDICATED ON THE PLANS ARE TO FINISHED SURFACE, AND NOT ROUGH GRADES. CONTRACTOR SHALL SUBTRACT THE STRUCTURAL THICKNESS OF PAVEMENTS AND TOP-SOIL THICKNESS IN LANDSCAPED AREAS, TO OBTAIN DESIRED ROUGH GRADES.

10\. EXCAVATIONS SHALL BE MADE IN ACCORDANCE WITH THE REGULATIONS OF THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY. ALL EXCAVATIONS SHALL BE STABILIZED WITHIN 30 DAYS OF INITIAL EXCAVATION. ALL TEMPORARY EXCAVATIONS SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

11\. ALL GEOTECHNICAL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT GEOTECHNICAL INVESTIGATION REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.

GEOTECHNICAL REPORT DATED: ....
REPORT NUMBER: ....
PREPARED BY: GEOTECHNOLOGIES, INC.

12\. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED **10/27/17** BY **CALIFORNIA SURVEYING SERVICES**.

13\. THIS PLAN IS FOR GRADING, PAVING AND DRAINAGE PURPOSES ONLY AND DOES NOT CONSTITUTE APPROVAL OF BUILDINGS.

14\. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED. THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.

15\. CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800-227-2600) TWO DAYS PRIOR TO ANY EXCAVATION.

16\. CONTRACTOR SHALL BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.

17\. REMOVAL OR RELOCATION OF ANY PUBLIC UTILITY LINES WITH THEIR RESPECTIVE OWNERS. SEPARATE PERMITS MAY BE REQUIRED.

18\. REPLACE ANY PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE BUILDING OFFICIAL. MATCH EXISTING MATERIALS, SURFACE TREATMENT, AND COLORS. SAME SHALL APPLY TO PERMANENT UTILITY TRENCH RESURFACING WITHIN PUBLIC RIGHT-OF-WAY.

19\. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL.

20\. TEMPORARY STOCKPILING OF EXCESS MATERIAL ON SITE, INCLUDING PROTECTION MEASURES AND EROSION CONTROL, SHALL BE APPROVED BY THE BUILDING OFFICIAL, PRIOR TO EXCAVATION.

21\. REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED FOR SITE GRADING AND BUILDING FOUNDATION RELATED EARTHWORK.

22\. WRITTEN CONFIRMATION OF THE BURBANK FIRE DEPARTMENT CLEARANCE SHALL BE REQUIRED BY THE BUILDING OFFICIAL PRIOR TO COMMENCEMENT OF GRADING OR ANY CONSTRUCTION ACTIVITIES ON-SITE, AND PRIOR TO FINAL OCCUPANCY APPROVAL FOR THE BUILDING.

23\. OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR THE DISCHARGE OF STORM WATER RUNOFF AND GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH THE EXCAVATIONS AND CONSTRUCTION WORK SHOWN ON THESE PLANS.

24\. ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS (SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.

25\. FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED.

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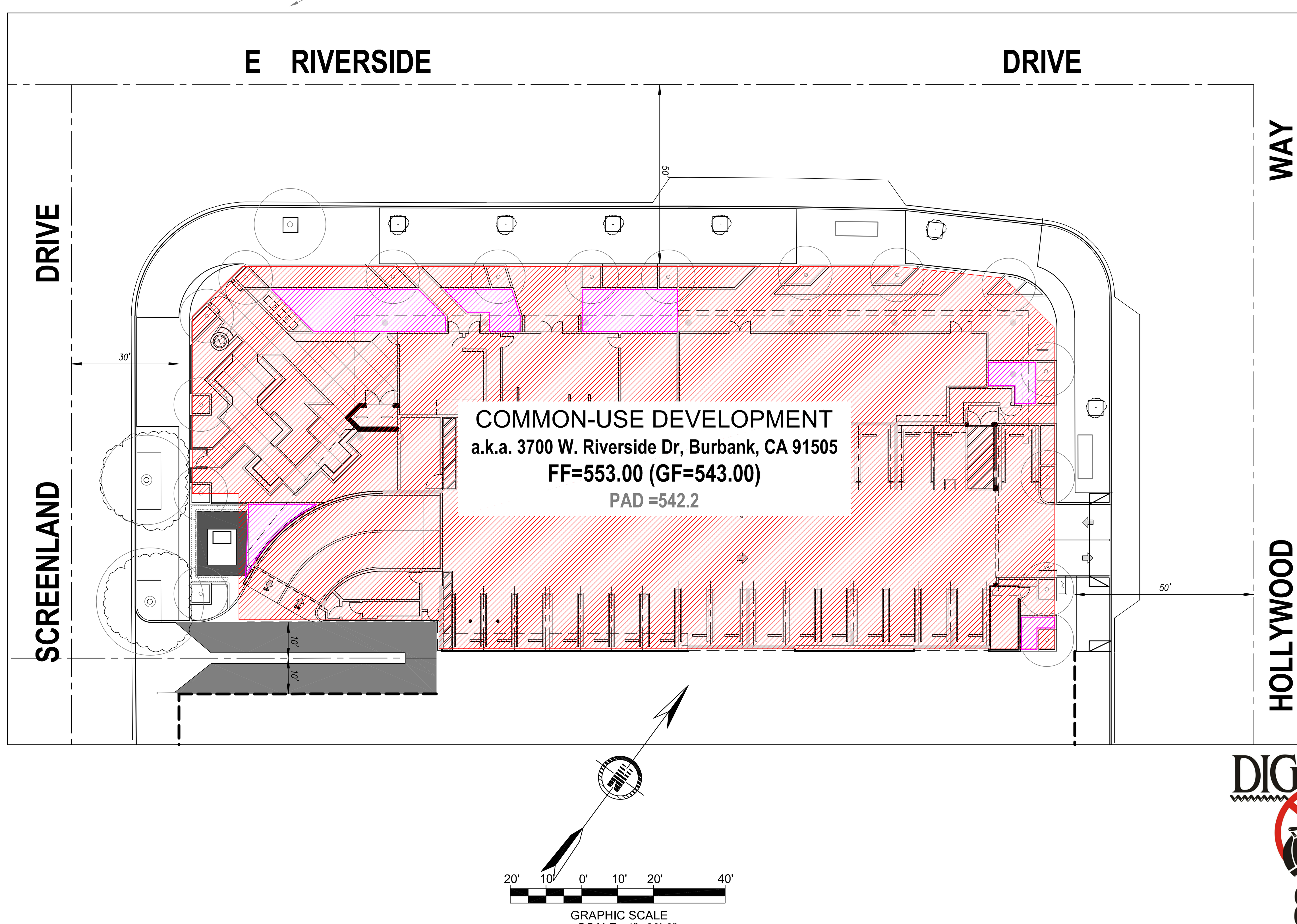
LEGEND:

PROPERTY/ BOUNDARY LINE
LOT LINE
STREET CENTER LINE
415 — PROPOSED CONTOUR
410.50 — PROPOSED HALF CONTOUR
414 — EXISTING TOPO CONTOUR
RETAINING WALL/SITE WALL
SD — STORM DRAIN
SIDEWALK CULVERT / PARK DRAIN
FLOW LINE

(SS) EXISTING SANITARY SEWER LINE
(PW) EXISTING POTABLE WATER LINE
(E) EXISTING ELECTRIC LINE
(SSMH) SEWER MANHOLE
CO SANITARY SEWER CLEANOUT
STORM DRAIN MANHOLE
STREET LIGHT
T ELECTRICAL TRANSFORMER
415.50FS PROPOSED SPOT ELEVATION
(415.50FS) JOIN JOIN SPOT ELEVATION
415.50FS EXISTING TOPO ELEVATION

TW	TOP OF WALL	PVC	POLYVINYL CHLORIDE PIPE
BW	BACK OF WALK	SD	STORM DRAIN
TC	TOP OF CURB	SS	SANITARY SEWER
FL	FLOW LINE	DW	DOMESTIC WATER LINE
FF	FINISHED FLOOR	PW	POTABLE WATER LINE
FS	FINISHED SURFACE	FW	FIRE WATER LINE
R/W	RIGHT OF WAY	T	TELEPHONE LINE
TG	TOP OF GRATE	G	GAS LINE
STA	STATION	E	ELECTRICAL LINE
EL	ELEVATION	POC	POINT OF CONNECTION
INV	INVERT	TOP	TOP OF PIPE
CB	CATCH BASIN	TB	TOP OF BERM
MH	MANHOLE	TCB	TOP OF CONCRETE BEAM
S	SLOPE	BOE	BOTTOM OF OVER-EXCAVATION
(1)	CURVE NUMBER		
RCP	REINFORCED CONCRETE PIPE	RG	ROUGH GRADING

P.C.C. PAVEMENT
A.C. PAVEMENT
PLANTER AREA
ENHANCED PAVEMENT (PERMEABLE PAVERS)
ADA COMPLIANT PATH OF TRAVEL



CALIFORNIA CODE OF REGULATIONS

APPLICABLE STATE CODES AND STANDARDS

PART 1 2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 C.C.R.
PART 2 2016 CALIFORNIA BUILDING CODE, TITLE 24 C.C.R. (2015 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH 2016 CALIFORNIA AMENDMENTS)
PART 3 2016 CALIFORNIA ELECTRICAL CODE, TITLE 24, C.C.R. (2015 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA WITH 2016 CALIFORNIA AMENDMENTS)
PART 4 2016 CALIFORNIA MECHANICAL CODE, TITLE 24 C.C.R. (2015 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO WITH 2016 CALIFORNIA AMENDMENTS)
PART 5 2016 CALIFORNIA PLUMBING CODE, TITLE 24, C.C.R. (2015 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO WITH 2016 CALIFORNIA AMENDMENTS)
PART 6 2016 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R.
PART 9 2016 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2015 INTERNATIONAL FIRE CODE OF THE INTERNATIONAL CODE COUNCIL WITH 2016 CALIFORNIA AMENDMENTS)
PART10 2016 CALIFORNIA EXISTING BUILDING CODE, TITLE 24, C.C.R. (2015 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH AMENDMENTS)
PART 11 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, (CALGREEN), CHAPTER 5, TITLE 24 C.C.R.
PART 12 2016 CALIFORNIA REFERENCED STANDARDS CODE, TITLE 24 C.C.R.

APPLICABLE FEDERAL CODES AND STANDARDS

- AMERICANS WITH DISABILITIES ACT (ADA), TITLE II, OR TITLE III
- FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36). (28 CFR 35,151(c))

EARTHWORK SUMMARY:

(DOES NOT INCLUDE PAVEMENT AND TOP SOIL REMOVAL)

DESCRIPTION	CUT (CY)	FILL (CY)
RAW :	8,780 CY	0 CY
REMEDIAL :	0 CY	0 CY
FOUNDATION :	270 CY	0 CY
SEPTIC SYSTEM :	0 CY	0 CY
EXEMPT :	0 CY	0 CY
DISCRETIONARY :	0 CY	0 CY
TOTAL (CUT + FILL):	9,050 CY	
NET EXPORT		(9,050 CY)

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE QUANTITIES ARE FOR DESIGN AND BONDING PURPOSES ONLY. SHRINKAGE, SWELL, SUBSIDENCE, AND ANY REMOVALS ARE BASED ON DATA OBTAINED FROM THE SOILS REPORT. FIELD CONDITIONS DURING CONSTRUCTION MAY VARY RESULTING IN ACTUAL EARTHWORK QUANTITIES DIFFERENT FROM THOSE ESTIMATES ABOVE.

EARTHWORK LEGEND:

PROPERTY BOUNDARY
LIMITS OF GRADING (DAYLIGHT) LINE
RAW CUT
RAW FILL
EXEMPT (BASEMENT / UNDERGROUND)
EXEMPT (FIRE DEPT. / EMERGENCY ACCESS)
EXEMPT (STORMWATER BMP IMPLEMENTATION)
EXEMPT (OFF-SITE PER PUBLIC WORKS REQ.)

DIGALERT 811
Call 2 Full Working Days in Advance

CUP AND DR SUBMITTAL

RHYTON

REVISION INFORMATION

No.	Date	Revision	By
1	09/21/2018	CUP AND DR SUBMITTAL	
2	09/12/2019	CUP & DR - PLAN UPDATES	

PROJECT NAME :
3700 W. Riverside
Mixed-Use Development
3700 W. RIVERSIDE DR.
BURBANK, CA 91505

PREPARED FOR :
3700 W. RIVERSIDE
INVESTMETNS, LLC
127 N. MADISON AVE.
SUITE 200
PASADENA, CALIF 91101

REGISTERED PROFESSIONAL ENGINEER
J. J. ALAJOV
No.C56393
EXP. 6-30-21
CIVIL
State of California
FOR: RHYTON ENGINEERING

RHYTON
SUSTAINABLE SITE SOLUTIONS
13351 Riverside Dr, Studio D-358, Sherman Oaks, CA 91423
(818) 478-7788 (818) 990-9903 F www.RhytonCivil.com
JOHN J. ALAJOV RCE 56393 DATE

SHEET TITLE:
TITLE SHEET
& GENERAL
NOTES

CHECKED BY: WHR, JJA
PROJECT No: 1BAL1004.00
DATE: 09/19/2019
SCALE: AS SHOWN
SHEET ID No. C01
SHEET 1 OF 4

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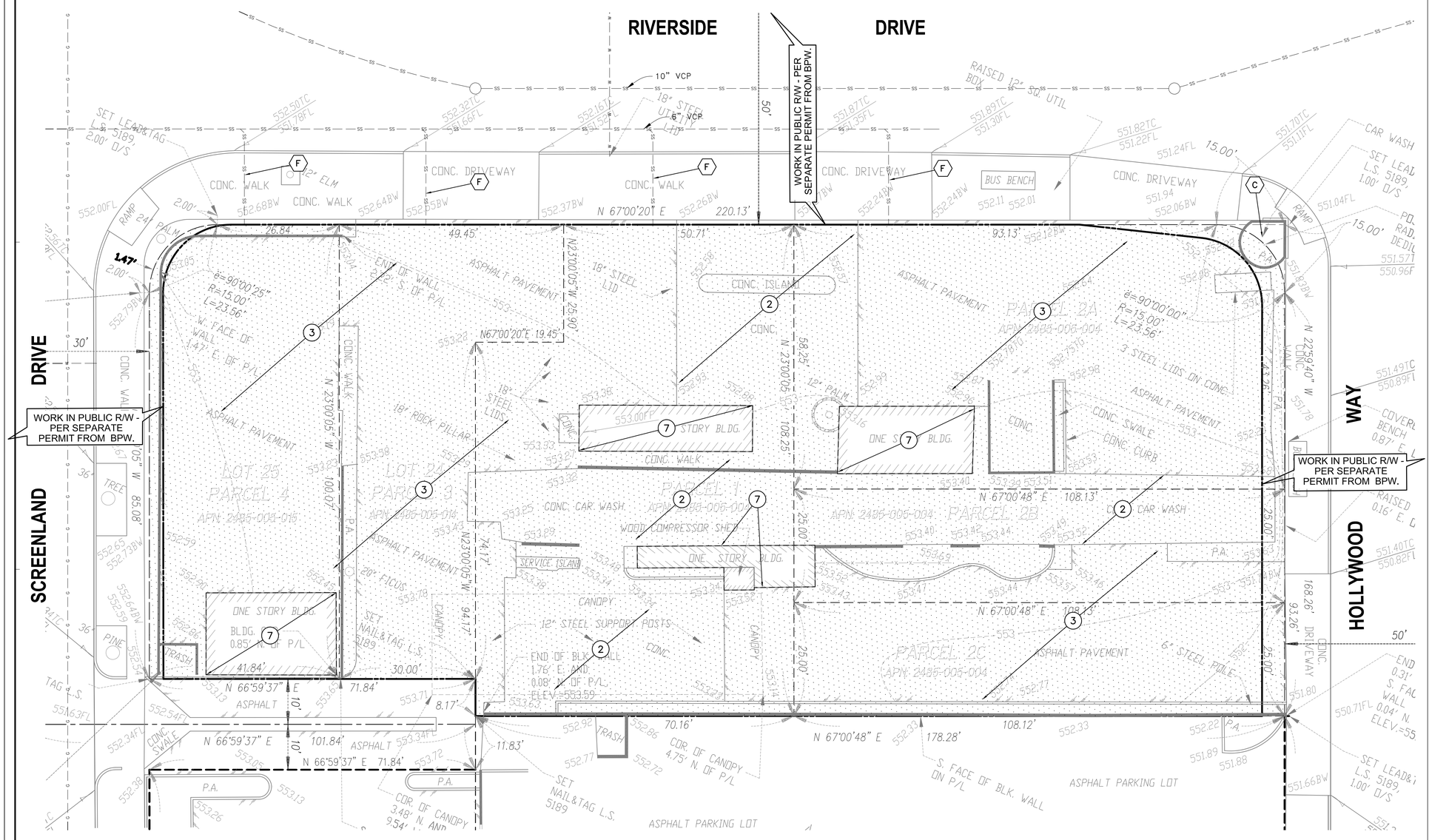

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL SIMILAR PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

DEMOLITION KEY NOTES:

1. SAWCUT PAVEMENT AT A NICE EVEN LINE ALONG THE PROPOSED JOIN LINES AROUND THE PROJECT OR ALONG THE NEAREST EXISTING CONCRETE PAVEMENT JOINT.
   NOTE: REMOVALS WITHIN PUBLIC RIGHT-OF-WAY REQUIRE SEPARATE PERMIT FROM LADPW, BUREAU OF ENGINEERING.
2. REMOVE EXISTING CONC. PAVEMENT AND AGGREGATE BASE INTERFERING WITH THE PROPOSED CONSTRUCTION AND CLEAR THE SITE. REUSE AND RECYCLE MATERIALS AS REQUIRED.
3. REMOVE EXISTING ASPHALT PAVEMENT AND AGGREGATE BASE INTERFERING WITH THE PROPOSED CONSTRUCTION AND CLEAR THE SITE. REUSE AND RECYCLE MATERIALS AS REQUIRED.
4. REMOVE EXISTING CONCRETE CURB AND BASE.
5. POWER POLE WITH ELECTRICAL AND TELEPHONE WIRES – TO BE DISCONNECTED AND REMOVED BY LADWP PERSONNEL ONLY. CONTRACTOR TO COORDINATE WORK AND TIMING WITH LADWP – POWER SERVICES.
6. REMOVE OR RELOCATE EXISTING TREE, TREE BALL OR LARGE SHRUB. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
7. REMOVE EXISTING BUILDINGS AND FOUNDATIONS – PER SEPARATE PERMIT.
8. REMOVE EXISTING FENCE, POSTS AND FOOTINGS.
9. REMOVE EXISTING BLOCK WALL (FENCE) AND FOOTINGS.
10. REMOVE EXISTING STEEL BOLLARD AND FOOTINGS.
11. GENERAL NOTE: DISCONNECT, CUT AND CAP ALL UTILITY SERVICES AT THE PERIMETER OF THE PROJECT. COORDINATE DISCONNECTION WITH THEIR RESPECTIVE OWNERS. REMOVE ALL UNDERGROUND UTILITY VAULTS, MANHOLES, PULLBOXES, CLEANOUTS AND DRAIN INLETS PRIOR TO BEGINNING OF EXCAVATION. REPORT SALVAGEABLE ITEMS TO THE OWNER AND OBTAIN DIRECTION PRIOR TO DISPOSAL.

SALVAGE KEY NOTES:

A. PROTECT IN PLACE AND MAINTAIN INTEGRITY OF EXISTING SECURITY FENCE AND FOOTINGS AROUND THE PERIMETER OF THE SITE.

B. PROTECT IN PLACE AND MAINTAIN THE INTEGRITY OF EXISTING PUBLIC TREES. PUBLIC TREE REMOVALS REQUIRE SEPARATE PERMIT FROM STREET SERVICES DEPARTMENT. COORDINATE THE WORK WITH THE STREET IMPROVEMENT PLANS.

C. SALVAGE AND RETURN TO OWNER. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.

D. PROTECT IN PLACE AND MAINTAIN THE INTEGRITY OF OVERHEAD POWER LINE AND POLE AND GUY WIRE. REMOVALS OF POWER POLES, GUY WIRES AND CONDUCTORS SHALL BE DONE BY LADWP ONLY.

E. PROTECT IN PLACE AND MAINTAIN THE INTEGRITY OF EXISTING UNDERGROUND STORM DRAIN CATCH BASINS AND PIPES. COORDINATE REQUIRED NEW CONNECTIONS WITH THE SITE UTILITIES DRAWINGS.

F. PROTECT IN PLACE AND MAINTAIN THE INTEGRITY OF EXISTING SANITARY SEWER UNDERGROUND PIPES AND HOUSE LATERALS. PROTECT ALL EXISTING SEWER HOUSE LATERALS FROM DAMAGE DURING DRILLING FOR SOLDIER PILES. REFER TO THE SITE UTILITIES PLAN FOR APPROXIMATE HOUSE LATERAL LOCATIONS.

G. PROTECT IN PLACE AND MAINTAIN INTEGRITY OF EXISTING CONCRETE CURB AND GUTTER. REMOVALS OF PUBLIC SIDEWALKS, DRIVEWAY APPROACHES, CURBS AND GUTTERS IS PER SEPARATE PLAN FROM LADPW – BOE. COORDINATE WITH THE STREET IMPROVEMENT PLANS.

ABBREVIATIONS:

AC	ASPHALTIC CONCRETE
BLDG	BUILDING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
ELEC	ELECTRIC, ELECTRICAL
EX. OR EXIST.	EXISTING
FG	FINISHED GRADE (LANDSCAPE)
FS	FINISHED SURFACE (HARDSCAPE)
FH	FIRE HYDRANT
FL	FLOW LINE
MH	MANHOLE
PA	PLANTER AREA
PCC	PORTLAND CEMENT CONCRETE
SD	STORM DRAIN
SF	SQUARE FEET
SSMH	SANITARY SEWER MANHOLE
SS	SANITARY SEWER
SDMH	STORM DRAIN MANHOLE
TC	TOP OF CURB

LEGEND:

- LIMIT OF WORK LINE
- SAWCUT LINE
- REMOVE EXISTING IMPROVEMENTS INTERFERING WITH PROPOSED CONSTRUCTION.
- AC PVMT REMOVAL AND TRENCH RESURFACING
- REMOVE EXIST CONC PVMT & BASE

NOTICE TO CONTRACTOR:

1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE AND FOR STORMWATER QUALITY MITIGATION AND MAINTENANCE DURING THE INTERIM CONDITIONS OF SITE CLEARING AND DEMOLITION.
2. FOR BUILDINGS OR SITE FURNISHINGS REMOVALS AND SALVAGE ITEMS REFER TO THE ARCHITECTURAL SITE DEMOLITION PLAN. COORDINATE DELIVERY AND STORAGE LOCATION FOR SALVAGED ITEMS WITH THE OWNER.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FROM THE CITY OF BURBANK DEPARTMENT OF PUBLIC WORKS, IN ORDER TO PERFORM ANY OFF-SITE CIVIL AND RELATED WORK. IT SHOULD BE MADE CLEAR THAT PART OF THAT PROCESS WILL REQUIRE THE CONTRACTOR TO PROVIDE A TRAFFIC CONTROL PLAN TO SATISFY CITY OF BURBANK REQUIREMENTS. CONTRACTOR'S BID SHALL INCLUDE THE COSTS OF TEMPORARY TRAFFIC CONTROL REQUIRED BY THE CITY OF BURBANK TO ACCOMPLISH WORK UNDER CITY PERMIT(S).

NOTE: FOR REMOVAL, RELOCATION OR PROTECTION OF UTILITY LINES, PLEASE REFER TO THE SITE UTILITY PLAN.

NOT FOR CONSTRUCTION

DIGALERT 811
Call 2 Full Working Days in Advance

CUP AND DR SUBMITTAL

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RHYTON

REVISION INFORMATION

No.	Date	Revision	By
1	09/21/2019	CUP AND DR SUBMITTAL	
2	09/12/2019	CUP & DR - PLAN UPDATES	

PROJECT NAME:
3700 W. Riverside
Mixed-Use Development
3700 W. RIVERSIDE DR.
BURBANK, CA 91505

PREPARED FOR:
3700 W. RIVERSIDE
INVESTMETNS, LLC
127 N. MADISON AVE.
SUITE 200
PASADENA, CALIF 91101

REGISTERED PROFESSIONAL ENGINEER
J. J. ALAJOV
No.C56393
EXP. 6-30-21
State of California
FOR: RHYTON ENGINEERING

SUSTAINABLE SITE SOLUTIONS
13351 Riverside Dr. Studio D-358, Sherman Oaks, CA 91423
(818) 478-7788 (818) 980-9803 F www.RhytonCivil.com
JOHN J. ALAJOV RCE 56393 DATE

SHEET TITLE:
SITE DEMOLITION PLAN

CHECKED BY: WHR, JJA
PROJECT No: 1BAL1004.00
DATE: 09/19/2019
SCALE: AS SHOWN
SHEET ID No. C02
SHEET 2 OF 5

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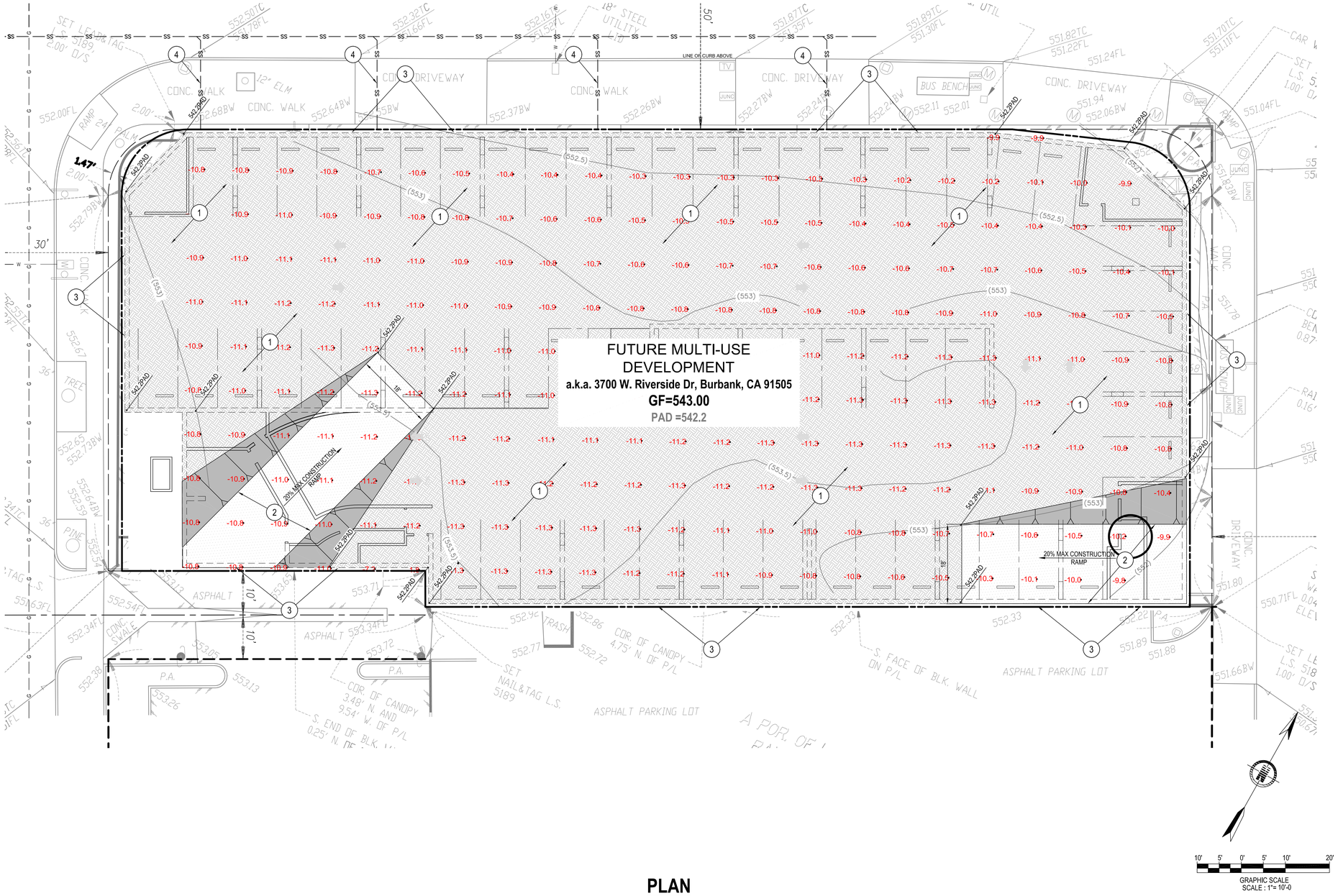

PLAN

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL SIMILAR PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

ROUGH GRADING AND DRAINAGE

1. EXCAVATE BASEMENT LEVEL OF PARKING STRUCTURE INTO FIRM AND UNDISTURBED ALLUVIUM. OVEREXCAVATE AND RECOMPACT UNFAVORABLE SOILS (IF REQUIRED) AS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. EXCAVATE FOR LINEAR AND SPREAD FOOTINGS, GEOTECHNICAL ENGINEER TO INSPECT BOTTOM PRIOR TO INSTALLATION OF REINFORCEMENT AND POURING OF CONCRETE
2. LEAVE TEMPORARY ACCESS RAMP TO BOTTOM OF EXCAVATION. RAMP SHALL BE 18 FEET WIDE MINIMUM, AND ITS RUNNING SLOPE SHALL NOT EXCEED 20%.
3. INSTALL TEMPORARY SHORING, (SOLDIER PILES AND WOOD LAGGING) PER SEPARATE PLANS AND PERMIT, AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
4. CONTRACTOR SHALL FIELD VERIFY SEWER HOUSE CONNECTIONS, AND PROTECT THEM DURING CONSTRUCTION OF SOLDIER PILES.

GENERAL SHORING NOTES.

1. SHORING PLANS, DETAILS AND CALCULATIONS FOR TEMPORARY EXCAVATION SUPPORT WILL BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER.
2. SOLDIER PILES FOR EXCAVATION LESS THAN 12 FEET WILL BE DESIGNED AS CANTILEVERED, SPACED AT 7'-6" TO 8'-0" APART (2 PILE DIAMETERS APART MINIMUM).
3. ALL CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF INDUSTRIAL SAFETY DIVISION OF THE STATE OF CALIFORNIA AND OF LOCAL BUILDING CODES.
4. CONTRACTOR SHALL PROVIDE PROPER DRAINAGE FOR EXCAVATION PROTECTION .
5. CONTRACTOR SHALL COORDINATE SHORING WITH STRUCTURAL DRAWINGS TO INSURE PROVISIONS FOR POCKETS, BLOCK-OUTS, OFFSETS, STEPPED FOOTINGS AND ANY OTHER ITEMS AFFECTED BY SHORING.
6. CONTRACTOR SHALL IDENTIFY ALL EXISTING SEWER HOUSE CONNECTIONS IN THE FILED TO AVOID DRILLING THRU THEM AND FILLING THEM WITH CONCRETE.
7. A LICENSED SURVEYOR SHALL LAY OUT PERIMETERS OF STRUCTURES ON THE SITE AND SHALL PROVIDE A CERTIFICATE PLAN INDICATING THE SHORING IS LOCATED IN ACCORDANCE WITH APPROVED PLANS, SUBMIT CERTIFICATE OR PLAN TO CITY OF BURBANK PRIOR TO COMMENCING
8. SHORING PILES SHALL BE SURVEY MONITORED WEEKLY FOR LINE AND GRADE BY A LICENSED SURVEYOR. ANY ONE INCH MOVEMENT SHALL BE ANALYZED BY THE SOILS ENGINEER AND AN APPROVED REMEDIAL SHORING PLAN PREPARED. ANY MOVEMENT OF 2—INCHES OR MORE REQUIRE THAT REMEDIAL SHORING INSTALLATION BE MADE TO PREVENT ADDITIONAL MOVEMENT PRIOR TO FURTHER CONSTRUCTION. PROVIDE DEPUTY INSPECTOR IS REQUIRED. INSPECTOR QUALIFICATIONS SHALL BE APPROVED BY THE CITY OF BURBANK PRIOR TO START OF SHORING AND EXCAVATION.
9. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT-CUTS.
10. SOIL ENGINEER'S REPRESENTATIVE SHALL REVIEW SHORING DESIGN, EXCAVATION AND INSTALLATION OF SHORING SHALL BE PERFORMED UNDER THEIR CONTINUOUS INSPECTION.
11. HEAVY EQUIPMENT OR CRANES OR STOCK PILING OF MATERIALS SHALL NOT BE LOCATED ADJACENT TO SHORING BULKHEADS EXCEPT WHERE SPECIFICALLY PROVIDED AND APPROVED BY SHORING DESIGN ENGINEER.
12. REMOVE TOP OF STEEL SOLDIER PILES AND LAGGING TO 12-0" BELOW SIDEWALK GRADE IN PUBLIC RIGHT OF WAY.
13. RECORD A "MAINTENANCE OF BUILDING SUPPORT" AFFIDAVIT BY THE OWNER OF SUBJECT PROPERTY WHICH WILL INFORM FUTURE OWNERS OF SUBJECT SITE THAT THE LATERAL SUPPORT OF A PORTION OF BUILDING FOUNDATION ON ADJOINING PROPERTY IS PROVIDED BY SUBTERRANEAN WALLS OF THE BUILDING ON SUBJECT SITE. AFFIDAVIT MUST BE APPROVED PRIOR TO RECORDING.
14. HEAVY EQUIPMENT OR CRANES SHALL NOT BE LOCATED ADJACENT TO THE SHORING BULKHEAD EXCEPT WHERE SPECIFICALLY PROVIDED FOR IN THE DESIGN.
15. CAL-OSHA PERMIT SHALL BE OBTAINED FOR ALL EXCAVATIONS DEEPER THAN 5'-0" VERTICAL AND FOR SHORING. SHAFTS
16. .VERTICAL AND DIAGONAL SHAFTS ARE TO BE MACHINE DRILLED AND ACCURATELY LOCATED SO THAT SOLDIER PILES ARE IN PROPER RELATION TO NEW BASEMENT WALL AND FOOTINGS. PROVIDE PROTECTION AGAINST SLOUGHING OR CAVING, AS REQUIRED.

EARTHWORK SUMMARY:

(DOES NOT INCLUDE PAVEMENT AND TOP SOIL REMOVAL)

DESCRIPTION	CUT (CY)	FILL (CY)
RAW :	8,780 CY	0 CY
REMEDIAL :	0 CY	0 CY
FOUNDATION :	270 CY	0 CY
SEPTIC SYSTEM :	0 CY	0 CY
EXEMPT :	0 CY	0 CY
DISCRETIONARY :	0 CY	0 CY
TOTAL (CUT + FILL):	9,050 CY	
NET EXPORT		(9,050 CY)

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE QUANTITIES ARE FOR DESIGN AND BONDING PURPOSES ONLY. SHRINKAGE, SWELL, SUBSIDENCE, AND ANY REMOVALS ARE BASED ON DATA OBTAINED FROM THE SOILS REPORT. FIELD CONDITIONS DURING CONSTRUCTION MAY VARY RESULTING IN ACTUAL EARTHWORK QUANTITIES DIFFERENT FROM THOSE ESTIMATES ABOVE.

EARTHWORK DEPTH LEGEND:

-10.9	-10.8	DEPTH OF RAW CUT EXCAVATION (FEET)
-10.5	-10.2	
+4.2	+4.8	DEPTH OF RAW FILL (FEET)
+3.8	+4.4	

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CUP AND DR SUBMITTAL

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REVISION INFORMATION

No.	Date	Revision	By
1	09/21/2019	CUP AND DR SUBMITTAL	
2	09/12/2019	CUP & DR - PLAN UPDATES	

PROJECT NAME :
3700 W. Riverside
Mixed-Use Development
3700 W. RIVERSIDE DR.
BURBANK, CA 91505

PREPARED FOR :
3700 W. RIVERSIDE
INVESTMETNS, LLC
127 N. MADISON AVE.
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J. J. ALAJOJI
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State of California
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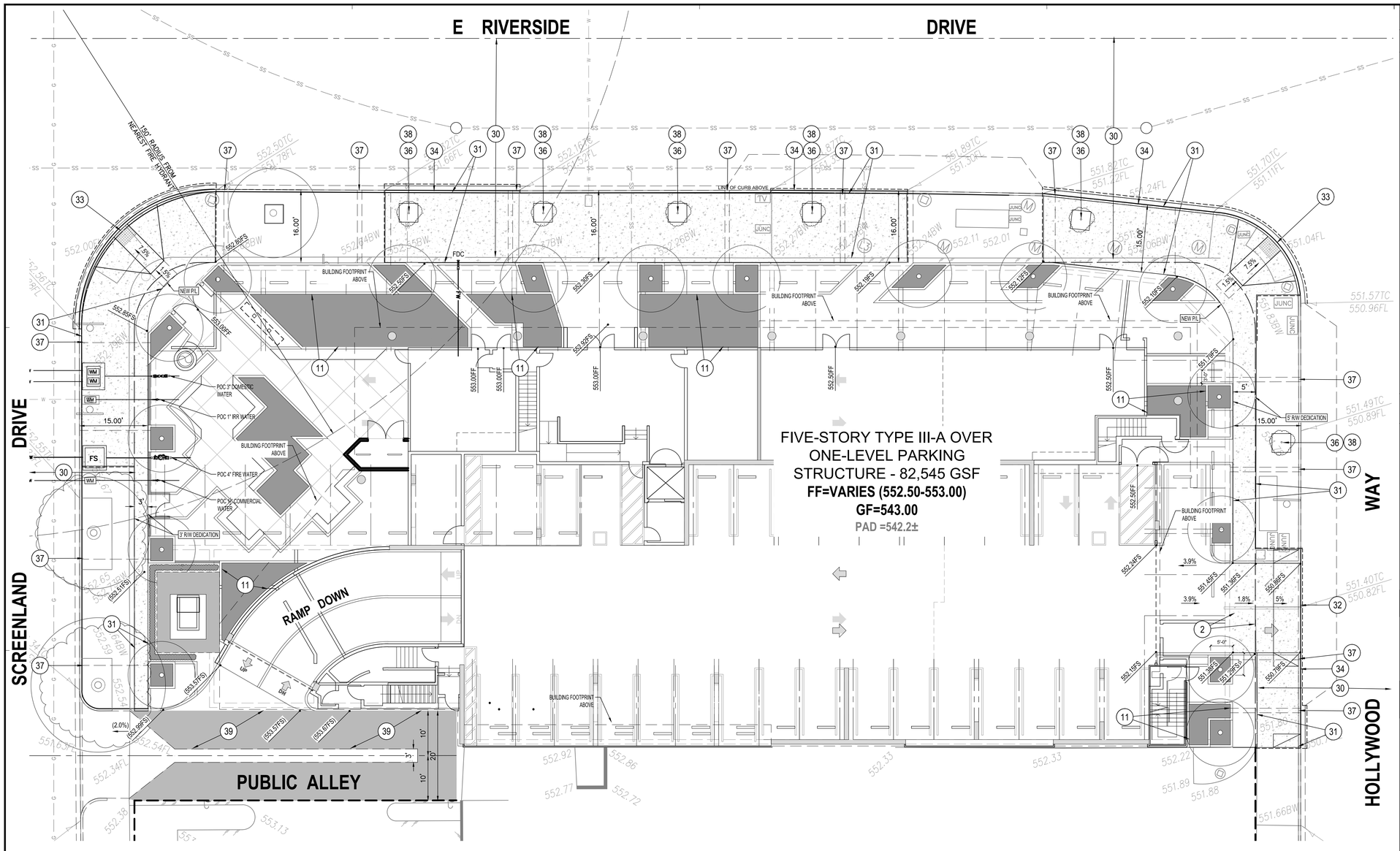
(818) 478-7788 (818) 980-9863 F www.RhytonCivil.com
JOHN J ALAJOJI RCE 56393 DATE

SHEET TITLE:
ROUGH GRADING & EXCAVATION PLAN

CHECKED BY: WHR, JJA
PROJECT No: 1BAL1004.00
DATE: 09/19/2019
SCALE: AS SHOWN
SHEET ID No. C04
SHEET 2 OF 4

H:\1BAL1004 – 3700 W Riverside\Engineering\Drawings CUP\C04rg CUP.dwg Plotted On Sep 25, 2019–11:47am by Rhyton Civil



PLAN

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL SIMILAR PLANS
SOME NOTES MAY NOT APPLY TO THIS SHEET

PRECISE GRADING AND DRAINAGE

1. CONSTRUCT A1 (0") CURB ONLY PER BDPW STD. BS-100
2. CONSTRUCT 6" CONCRETE PAVEMENT, OVER 6" MISC. BASE . JOIN FLUSH EXISTING PAVEMENT ALONG SAWCUT & JOIN LINES.
3. GRADE AND PLANT ONLY. SEE LANDSCAPING PLANS FOR DETAILS
4. CONSTRUCT A1-150 (6") CURB ONLY PER BDPW STD. BS-100
5. SAWCUT AND JOIN FLUSH EXISTING PAVEMENTS.
6. INSTALL PERMANENT FENCE AND GATES PER ARCHITECTURAL PLANS
7. CONSTRUCT 4" CONCRETE WALK PER BDPW STD. PLAN BS-104
8. SAWCUT CONTROL JOINTS AND CONSTRUCT EXPANSION JOINTS
9. ADJUST TO GRADE THE RIM, COVER, OR BOX OF EXISTING UNDERGROUND VAULT, CLEANOUT, VALVE COVER, ACCESS HATCH OR PULLBOX.
10. 4" STEEL BOLLARDS, GROUTED SOLID. PAINT EXPOSED SURFACE.
11. CONSTRUCT RAISED "FLOW-THRU" PLANTER FROM REINFORCED CONCRETE OR MASONRY BLOCK (PRECISION BLOCK). WATERPROOF WALLS AND BOTTOM (HOT APPLIED ASPHALT MEMBRANE, PROTECTION COURSE AND DRAIN BOARD, WITH SS-COUNTER FLASHING ON TOP AND N-FLASHING AT BOTTOM CORNERS) AND INSTALL MEDIA, PLANTS, MULCH, SUB-DRAIN AND OVERFLOW DRAINS AND DRAIN THRU STREET CURB.
12. CONSTRUCT CURB TRANSITION FROM 0" CURB FACE TO 6" CURB FACE.
13. CONSTRUCT RAISED PLANTER OUTLET DRAIN. CORE THROUGH WALL AND SPILL PIPE ONTO STREET GUTTER SURFACE.
14. CONSTRUCT TRENCH DRAIN

PUBLIC STREET IMPROVEMENTS

30. PUBLIC IMPROVEMENTS TO BE CONSTRUCTED PER SEPARATE PERMIT FROM DEPARTMENT OF PUBLIC WORKS. CONTRACTOR TO OBTAIN.
31. REMOVE AND REPLACE (E) SIDEWALK AND/OR DRIVEWAY (TO THE NEAREST EXISTING JOINT), WITH 3 $\frac{1}{4}$" MIN CONC. SIDEWALK PER BDPW STD. BS-104.
32. CONSTRUCT NEW CONC. DRIVEWAY APPROACH (CURB-CUT) PER BDPW STD. BS-103, TYPE 2. W; X; AND Y - PER PLAN. t=6" MIN.
33. CONSTRUCT NEW CURB ACCESS RAMP AND INSTALL DETECTABLE WARNINGS (TRUNCATED DOMES) PER CALTRANS REVISED STD. PLAN A88A. SEE NOTE '8' FOR GUTTER SLOPE AND REMOVE AND RECONSTRUCT PORTION OF CURB AT BOTTOM OF (E) RAMP, IF NOT FLUSH WITH (E) CONC. GUTTER.
34. CONSTRUCT A2-200 (6") CURB AND GUTTER (BARRIER) PER BDPW STD. BS-100. MATCH WIDTH OF EXISTING GUTTER AND JOIN FLUSH. IF REQUIRED, REPLACE PORTION OF (E) AC PAVEMENT ALONG THE EDGE OF GUTTER.
35. BACKFILL UTILITIES CONSTRUCTION TRENCH AND REPLACE PORTION OF (E) AC PAVEMENT
36. INSTALL STREET TREE IN A 4'-2" x 4'-2" TREE WELL PER SPPWC STD. PLAN 519-3. TREE SPECIE AND WELL COVER TYPE SHALL BE APPROVED BY CITY OF BURBANK, URBAN FORESTRY DIVISION.
37. CONSTRUCT CURB DRAIN No.1 PER BDPW STD. BS-107.
38. CONTRACTOR TO COORDINATE AND INSTALL PARKWAY TREE WELL COVER TYPE AND SIZE WITH CITY OF BURBANK URBAN FORESTRY
39. CONSTRUCT 6" ASPHALT PAVEMENT OVER 7" AGGREGATE BASE

* GENERAL NOTE: ALL DRAIN INLETS 12 " AND LARGER SHALL BE ACCESSIBLE FOR INSPECTION AND MAINTENANCE AND SHALL BEAR A "NO DUMPING - DRAINS TO OCEAN" SYMBOL, EITHER STENCILED OR AFFIXED NEAR THE STORM DRAIN INLET.

ACCESSIBILITY NOTES:

CALIFORNIA ACCESS COMPLIANCE, TITLE 24 CCR

1. WALKS AND SIDEWALK SURFACE CROSS SLOPES SHALL NOT EXCEED 1:48 (2.083% GRADIENT) (SEC. 11B-403.3)
2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 (5% GRADIENT) IT SHALL COMPLY WITH THE PROVISIONS OF SECTION 11B-405 AS A PEDESTRIAN RAMP (SEC. 11B-401.1)
3. WALK AND SIDEWALK SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH. (SEC. 11B-403.2)
4. WALK & SIDEWALK SURFACES WITH A SLOPE OF 6% OR MORE GRADIENT SHALL BE SLIP-RESISTANT. (SEC. 11B-403.2)
5. ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST 5' IN LENGTH AT INTERVALS OF AT LEAST EVERY 400'. (SEC. 11B-403.7)
6. WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60"x 60" AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48" WIDE x 44" DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. (SEC. 11B-403.7)
7. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2", AND SHALL BE A MINIMUM OF 48" WIDE. (SEC. 11B-403.1)
8. WHEN ABRUPT CHANGES IN LEVEL NOT EXCEEDING 1/2" OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL (50%), EXCEPT THAT LEVEL CHANGES NOT EXCEEDING ¼" MAY BE VERTICAL. (SEC. 11B-403.4 AND FIGURES 11B-5E (c) AND (d))
9. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE EXCEEDING 1/2" SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS. (SEC. 11B-403.4)
10. WALKS SHALL EXTEND A MINIMUM OF 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALL (SEC. 11B-403.7)
11. WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHEREVER POSSIBLE. GRID OPENINGS IN GRATINGS SHALL BE 1/2" WIDE MAX IN THE DIRECTION OF TRAFFIC FLOW. ELONGATED OPENINGS, IF PROVIDED SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL (SEC. 1023.2 AND FIG. 11B-7B (a) AND 11B-302.3)
12. ABRUPT CHANGES IN LEVEL, 4" OR MORE, EXCEPT BETWEEN A WALK OR A SIDEWALK AND ADJACENT STREETS OR DRIVEWAYS SHALL BE IDENTIFIED BY A 6" HIGH CURBS ABOVE WALK SURFACE (SEC. 11B-303.5)
13. PROVIDE SIGNS DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND SHALL COMPLY WITH SECTION 11B-703 (SEC. 11B-216.6)
14. HANDRAILS. STAIRWAYS SHALL HAVE HANDRAILS AT BOTH SIDES OF ALL STAIRS. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
    (1) HANDRAILS SHALL BE CONTINUOUS ALONG BOTH SIDES OF STAIRS.
    (2) IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12 IN (305 MM) BEYOND THE TOP RISER AND AT LEAST 12 IN (305 MM) PLUS THE WIDTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT THE TOP, THE EXTENSION SHALL BE PARALLEL WITH THE GROUND SURFACE. AT THE BOTTOM, THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER; THE REMAINDER OF THE EXTENSION SHALL BE HORIZONTAL.
    (3) THE CLEAR SPACE BETWEEN HANDRAILS AND WALL SHALL BE 1-1/2 IN.
    (4) GRIPPING SURFACES SHALL BE UNINTERRUPTED BY NEWEL POSTS, OTHER CONSTRUCTION ELEMENTS, OR OBSTRUCTIONS.
    (5) TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34 IN AND 38 IN ABOVE STAIR NOSINGS. (SEC. 11B-505.4)
    (6) ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO GROUND, WALL, OR POST.
    (7) HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
    (8) 12" EXTENSION IS MEASURED TO THE INSIDE OF THE ROUNDED OR RETURNED PART OF THE HANDRAIL TO PROVIDE ROOM FOR A HAND GRIP.

LEGEND:

- 415 — PROPOSED CONTOUR
- 410.50 — PROPOSED HALF CONTOUR
- 414 — EXISTING TOPO CONTOUR
- 415.50 FS — PROPOSED SPOT ELEVATION
- (415.50 FS) JOIN — JOIN SPOT ELEVATION
- 415.50 FS — EXISTING TOPO ELEVATION
- RETAINING WALL/SITE WALL
- SD — STORM DRAIN
- SIDEWALK CULVERT / PARK DRAIN
- FLOW LINE
- P.C.C. PAVEMENT
- A.C. PAVEMENT
- PLANTER AREA
- ENHANCED PAVEMENT (PERMEABLE PAVERS)
- ADA COMPLIANT PATH OF TRAVEL

NOTICE TO CONTRACTORS:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL FINISHED FLOOR ELEVATIONS AT THE ENTRANCES OF THE EXISTING ONE STORY BUILDING, AND EXISTING PAVEMENT JOIN ELEVATIONS ALONG THE PERIMETER OF THE PROJECT, AND INFORM ENGINEER FOR ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR PULLING A PERMIT FROM THE CITY TO PERFORM ALL OFF-SITE CIVIL AND RELATED WORK. IT SHOULD BE MADE CLEAR THAT PART OF THAT PROCESS WILL REQUIRE THE CONTRACTOR TO PROVIDE A TRAFFIC CONTROL PLAN TO SATISFY CITY OF LOS ANGELES REQUIREMENTS AND INCLUDE THE COSTS OF TEMPORARY TRAFFIC CONTROL REQUIRED BY THE CITY OF LOS ANGELES TO ACCOMPLISH WORK UNDER CITY PERMITS.

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REVISION INFORMATION

No.	Date	Revision	By
1	09/21/2018	CUP AND DR SUBMITTAL	
2	09/12/2019	CUP & DR - PLAN UPDATES	

PROJECT NAME:
3700 W. Riverside Mixed-Use Development
3700 W. RIVERSIDE DR.
BURBANK, CA 91505

PREPARED FOR :
3700 W. RIVERSIDE INVESTMETNS, LLC
127 N. MADISON AVE.
SUITE 200
PASADENA, CALIF 91101

REGISTERED PROFESSIONAL ENGINEER J. J. ALAJOY No.C56393 EXP. 6-30-21 Civil State of California
FOR: RHYTON ENGINEERING

SUSTAINABLE SITE SOLUTIONS
13351 Riverside Dr. Studio D-358, Sherman Oaks, CA 91423
(818) 478-7788 (818) 980-9863 F www.RhytonCivil.com
JOHN J. ALAJOY RCE 56393 DATE

SHEET TITLE:
PRECISE GRADING & DRAINAGE PLAN

CHECKED BY: WHR, JJA
PROJECT No: 1BAL1004.00
DATE: 09/19/2019
SCALE: AS SHOWN
SHEET ID No. C05
SHEET 3 OF 4

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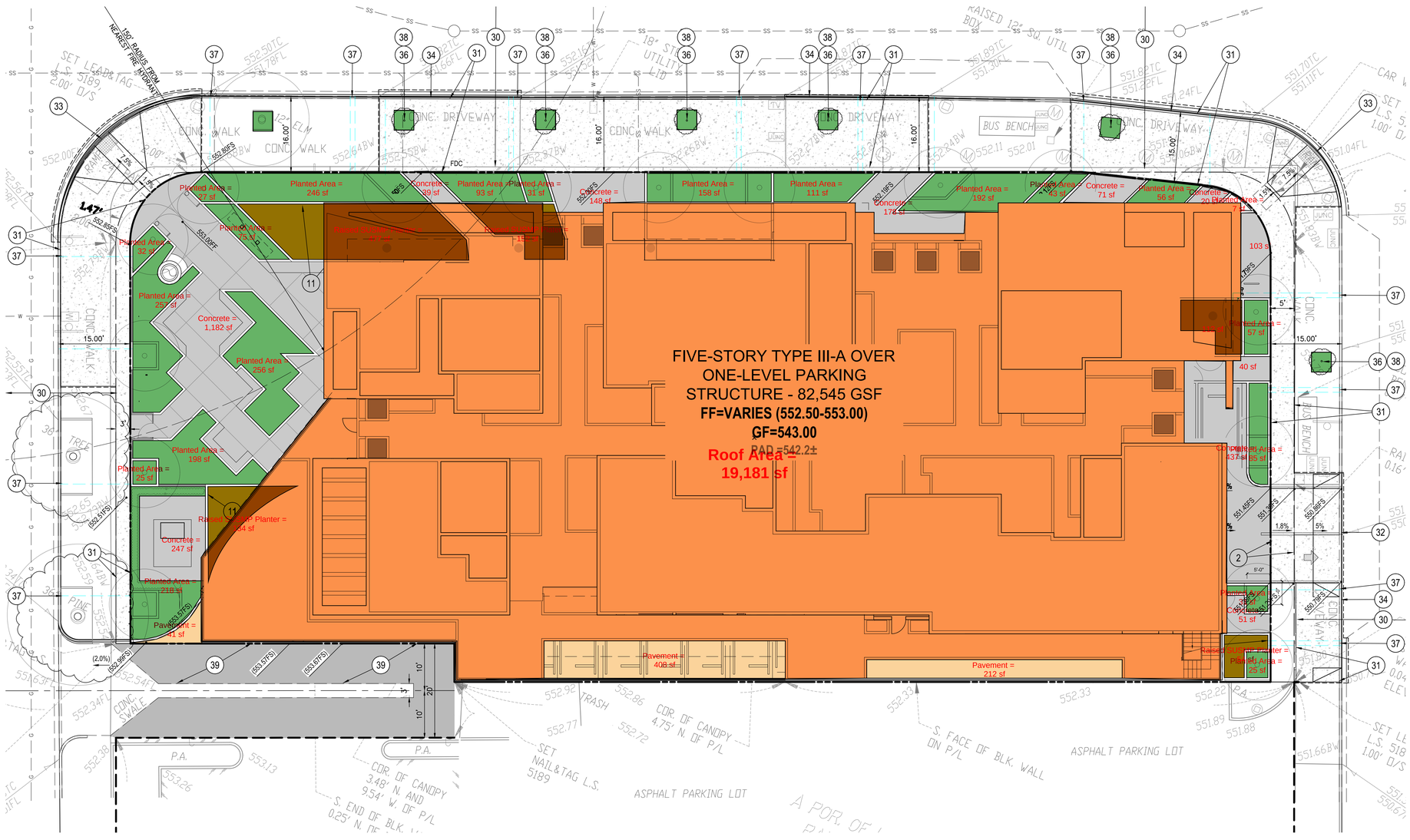
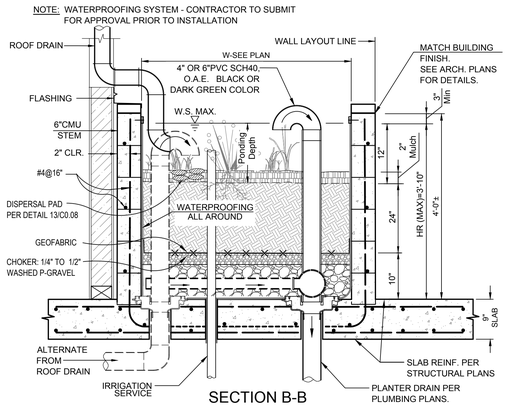
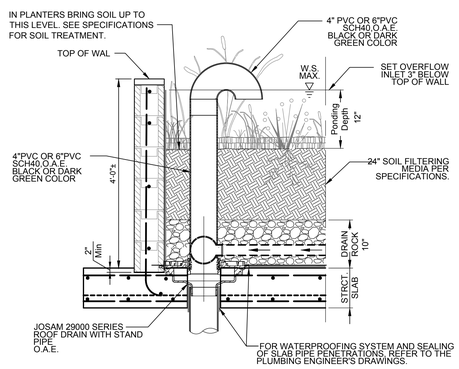


NOTE: WATERPROOFING SYSTEM - CONTRACTOR TO SUBMIT FOR APPROVAL PRIOR TO INSTALLATION



SECTION B-B

FLOW-THRU PLANTER ON PODIUM SLAB



TYPICAL PODIUM OVERFLOW DRAIN DETAIL

LEGEND NOTES

LEGEND NOTES ARE COMMON TO ALL SIMILAR PLANS SOME NOTES MAY NOT APPLY TO THIS SHEET

- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PERMEABLE SURFACE (LANDSCAPING)
- PERMEABLE SURFACE (PAVERS OR POROUS)
- IMPERMEABLE SURFACE (ROOFING)
- IMPERMEABLE SURFACE (PAVEMENT)
- DIRECTION OF STORMWATER FLOW
- ROOF DOWNSPOUT ROUTED TO STORM DRAIN
- RAISED "FLOW-THRU" FILTERING PLANTER
- FILTERING DRAIN INLET INSERT "TRITON" O.A.E.

NO DUMPING
DRAINS TO OCEAN

"NO DUMPING - DRAINS TO OCEAN" SYMBOL STENCILS ARE AVAILABLE AT THE LOCAL BUILDING AND SAFETY OFFICE. THERMOPLASTICS SIGNS CAN BE ORDERED FROM "SAFE USA" AT (909) 983-0703 ; WWW.ROADFIX.COM

GRAPHIC SCALE
SCALE : 1"= 10'-0

CUP AND DR SUBMITTAL

RHYTON ENGINEERING

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Mixed-Use Development
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PASADENA, CALIF 91101

REGISTERED PROFESSIONAL ENGINEER
J. J. ALAJOV
No.C56393
EXP. 6-30-21
State of California
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JOHN J. ALAJOV RCE 56393 DATE

SHEET TITLE:
SUSMP
EXHIBIT

CHECKED BY: WHR, JJA
PROJECT No: 1BAL1004.00
DATE: 09/19/2019
SCALE: AS SHOWN
SHEET ID No. C07
SHEET 4 OF 4

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PLANT MATERIAL

TREES

ACACIA ANEURA
MALGA
LOW WATER USE - 36" BOX

LAGERSTROEMIS HYBRID " NATCHEZ"
WHITE CRAPE MYRTLE
LOW WATER USE - 36" BOX

PARKINSONIA 'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE
VERY LOW WATER USE - 36" BOX

OLEA EUROPAEA 'SWAN HILL'
FRUITLESS OLIVE
LOW WATER USE -36" BOX

PODOCARPUS HENKELII
YELLOW WOOD HEDGE
MODERATE WATER USE - 24" BOX

THEVITIA PERUVIANA
YELLOW OLEANDER
LOW WATER USE - 24" BOX

OTATEA ACUMINATA AZTECTORUM
MEXICAN WEEPING BAMBOO
MODERATE WATER USE - 24" BOX

PITTOSPORUM 'SILVER QUEEN'
SILVER QUEEN
MODERATE WATER USE - 24" BOX

GROUND COVERS

CAREX DIVULSA
BERKELEY SEDGE
LOW WATER USE

CAREX PRAEGRACILIS
MEADOW SEDGE
MEDIUM WATER USE

DYMONDIA MARGARETAE
DYMONDIA
LOW WATER USE

VINE ON 6' TALL GREENSCREEN TRELLIS

HARDENBERGIA VIOLACEA
LAVENDER VINE

SHRUBS AND PERENNIALS

CALLISTEMON 'LITTLE JOHN'
DWARF BOTTLE BRUSH
LOW WATER USE

LANTANA HY. 'WHITE LIGHTNIN'
WHITE SPREADING LANTANA
LOW WATER USE

MYRTUS COMMUNIS 'VARIEGATA'
VARIEGATED MYRTLE
LOW WATER USE

OLEA EUROPAEA 'LITTLE OLLIE'
DWARF OLIVE
LOW WATER USE

ANIGOZANTHOS CVS.
KANGAROO PAWS
LOW WATER USE

CAREX TESTACEA
MEDIUM WATER USE

CHONDROPETALUM TECTORUM
CAPE RUSH
LOW WATER USE

DASYLIRION LONGISSIMUM
MEXICAN GRASS TREE
VERY LOW WATER USE

DIANELLA 'SILVER STREAK'
VARIEGATED FLAX LILY
MEDIUM WATER USE

FESTUCA GLAUCA 'ELIJAH BLUE'
BLUE FESCUE
LOW WATER USE

JUNCUS PATENS
CALIFORNIA GRAY RUSH
LOW WATER USE

MUHLENBERGIA CAPILLARIS
PINK MUHLY
LOW WATER USE

MUHLENBERGIA LINDHEIMERII\
MEXICAN MUHLY
LOW WATER USE

SUCCULENTS

AGAVE ATTENUATA 'VARIEGATA'
VARIEGATED FOXTAIL AGAVE

YUCCA RECURVIFOLIA
LOW WATER USE

KALANCHOE PUMILA
LOW WATER USE

MIXED SUCCULENTS
ECHEVERIA 'AFTERGLOW'
AEONIUM URBICUM
AEONIUM 'ZWARTKOPF'
CRASSULA 'CAMP FIRE'
SEDUM NUSSBAUMERANUM

EUPHORBIA TIRUCALLI
'STICKS ON FIRE'M
LOW WATER USE

COMPLIANCE CRITERIA

1. All lighting will be shielded to prevent off-site illumination.

2. All on-site pedestrian walkways will include lighting as required.

3. Provide a minimum of 1 tree for every 20 feet of front and exposed side yard frontage. Front and exposed street side frontage = 440 lin.ft.; trees provided on plan = 22; tree size = 36" box.

4. All planters are at least 5' in minimum dimension' and all planters are sized on the plan.

5. A minimum of 15% of the lot area shall be landscaped. Total lot area = 25,455 sq. ft.; Total on-site Ground Floor Landscape Area (exclusive of planter walls) = 3,889 sq.ft., area landscaped = 15.3% of lot area.

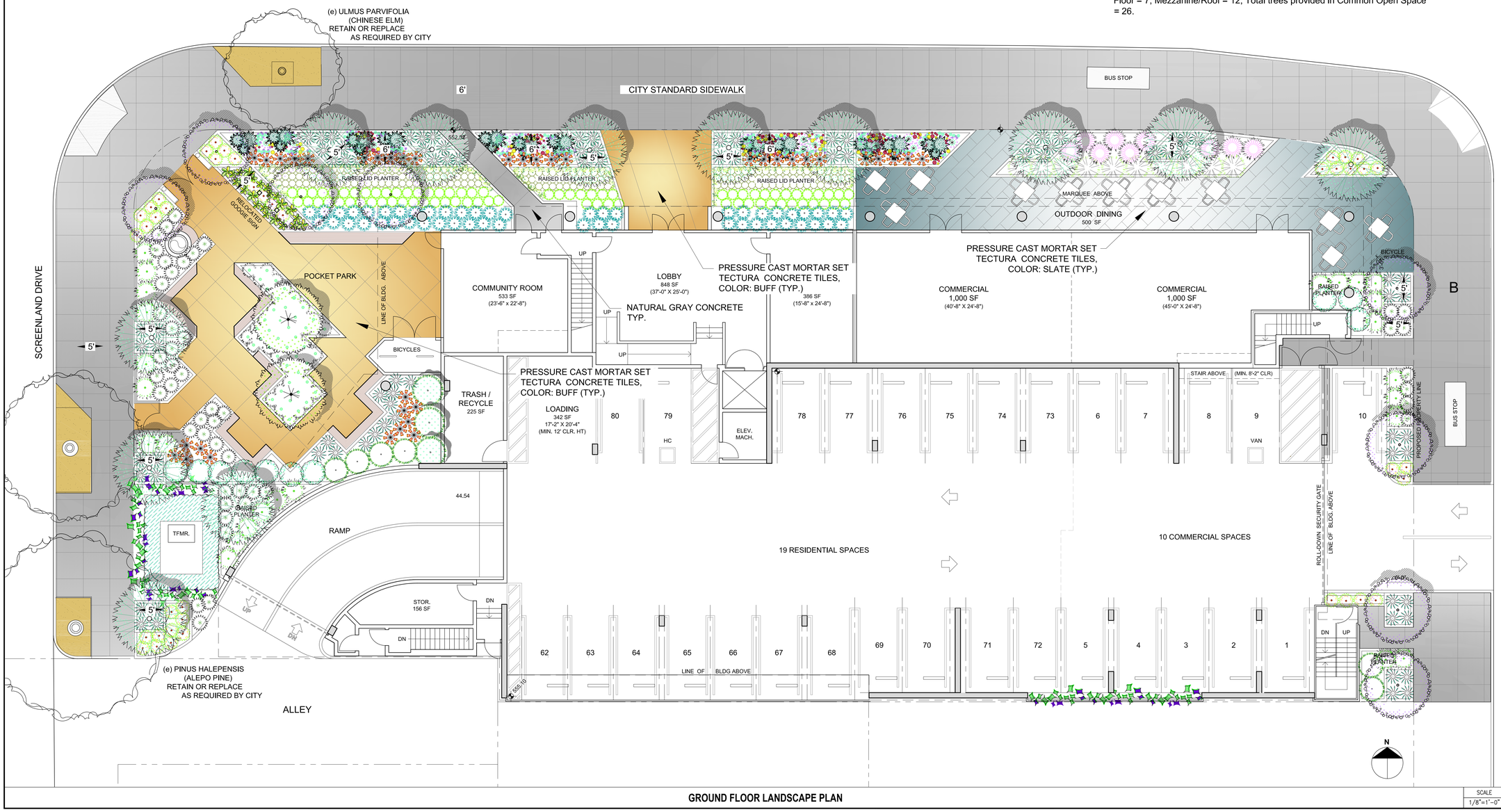
6. All lot areas not required for driveways, pedestrian walkways, and the public plaza at the northwest corner of the building are landscaped.

7. All proposed trees are shown and identified on sheets L1.1 Ground Floor Landscape Plan, L1.2 Second Floor Landscape Plan, and L1.3 Mezzanine/Roof Landscape Plan. No trees are proposed on other floors of the building.

8. 'Built in seating benches are shown throughout the public plaza on sheet L1.1 Ground Floor Landscape Plan.

9. A minimum of 15% of common open space must be landscaped. Common open space provided = 10,866 sq. ft.; Common open space landscaping provided = 1,799 sq. ft. Mezzanine/Roof, 1,818 sq.ft. 2nd Floor, 1,056 sq.ft. Ground Floor = 4,673 sq.ft. = 43% landscaped.

10. Trees must be provided in Common Open Space at rate of 1 tree for every 600 sq. ft.; Total Common Open Space provided = 10,866 sq. ft.; Minimum number of tree required = 18 trees, Trees provided Ground Floor = 7, Second Floor = 7, Mezzanine/Roof = 12, Total trees provided in Common Open Space = 26.



GROUND FLOOR LANDSCAPE PLAN

SCALE 1/8"=1'-0"

1

struere
ADVANCED ARCHITECTURE

3324 GRAND VIEW
LOS ANGELES, CALIFORNIA 90066

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LICENSED ARCHITECT
HRAZTAN ZEITLIAN
28719
RENEWAL DATE: 04/30/19
STATE OF CALIFORNIA

CONSULTANT
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28720 Roadside Drive, Suite 100
Agoura Hills, California 91301
(310)477-3900

LICENSED LANDSCAPE ARCHITECT
JAYNE RICHARD ROMANEK NO. 2
SIGNATURE
5/31/20
RENEWAL DATE
STATE OF CALIFORNIA

3700 W. RIVERSIDE INVESTMENTS. LLC

127 N. MADISON AVE., SUITE 200
PASADENA, CA 91101

3700 RIVERSIDE DRIVE

MIXED-USE PROJECT

3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP DR RESUBMITTAL	09/26/2019

SHEET TITLE

GROUND FLOOR LANDSCAPE PLAN

SHEET NUMBER

L1.1

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PLANT MATERIAL

TREES

ACACIA ANEURA
MALGA
LOW WATER USE - 36" BOX

LAGERSTROEMIS HYBRID " NATCHEZ"
WHITE CRAPE MYRTLE
LOW WATER USE - 36" BOX

PARKINSONIA 'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE
VERY LOW WATER USE - 36" BOX

OLEA EUROPAEA 'SWAN HILL'
FRUITLESS OLIVE
LOW WATER USE -36" BOX

PODOCARPUS HENKELII
YELLOW WOOD HEDGE
MODERATE WATER USE - 24" BOX

THEVITIA PERUVIANA
YELLOW OLEANDER
LOW WATER USE - 24" BOX

OTATEA ACUMINATA AZTECTORUM
MEXICAN WEEPING BAMBOO
MODERATE WATER USE - 24" BOX

PITTOSPORUM 'SILVER QUEEN'
SILVER QUEEN
MODERATE WATER USE - 24" BOX

GROUND COVERS

CAREX DIVULSA
BERKELEY SEDGE
LOW WATER USE

CAREX PRAEGRACILIS
MEADOW SEDGE
MEDIUM WATER USE

DYMONDIA MARGARETAE
DYMONDIA
LOW WATER USE

VINE ON 6' TALL GREENSCREEN TRELLIS

HARDENBERGIA VIOLACEA
LAVENDER VINE

SHRUBS AND PERENNIALS

CALLISTEMON 'LITTLE JOHN'
DWARF BOTTLE BRUSH
LOW WATER USE

LANTANA HY. 'WHITE LIGHTNIN'
WHITE SPREADING LANTANA
LOW WATER USE

MYRTUS COMMUNIS 'VARIEGATA'
VARIEGATED MYRTLE
LOW WATER USE

OLEA EUROPAEA 'LITTLE OLLIE'
DWARF OLIVE
LOW WATER USE

ANIGOZANTHOS CVS.
KANGAROO PAWS
LOW WATER USE

CAREX TESTACEA
MEDIUM WATER USE

CHONDROPETALUM TECTORUM
CAPE RUSH
LOW WATER USE

DASYLIRION LONGISSIMUM
MEXICAN GRASS TREE
VERY LOW WATER USE

DIANELLA 'SILVER STREAK'
VARIEGATED FLAX LILY
MEDIUM WATER USE

FESTUCA GLAUCA 'ELIJAH BLUE'
BLUE FESCUE
LOW WATER USE

JUNCUS PATENS
CALIFORNIA GRAY RUSH
LOW WATER USE

MUHLENBERGIA CAPILLARIS
PINK MUHLY
LOW WATER USE

MUHLENBERGIA LINDHEIMERII\
MEXICAN MUHLY
LOW WATER USE

SUCCULENTS

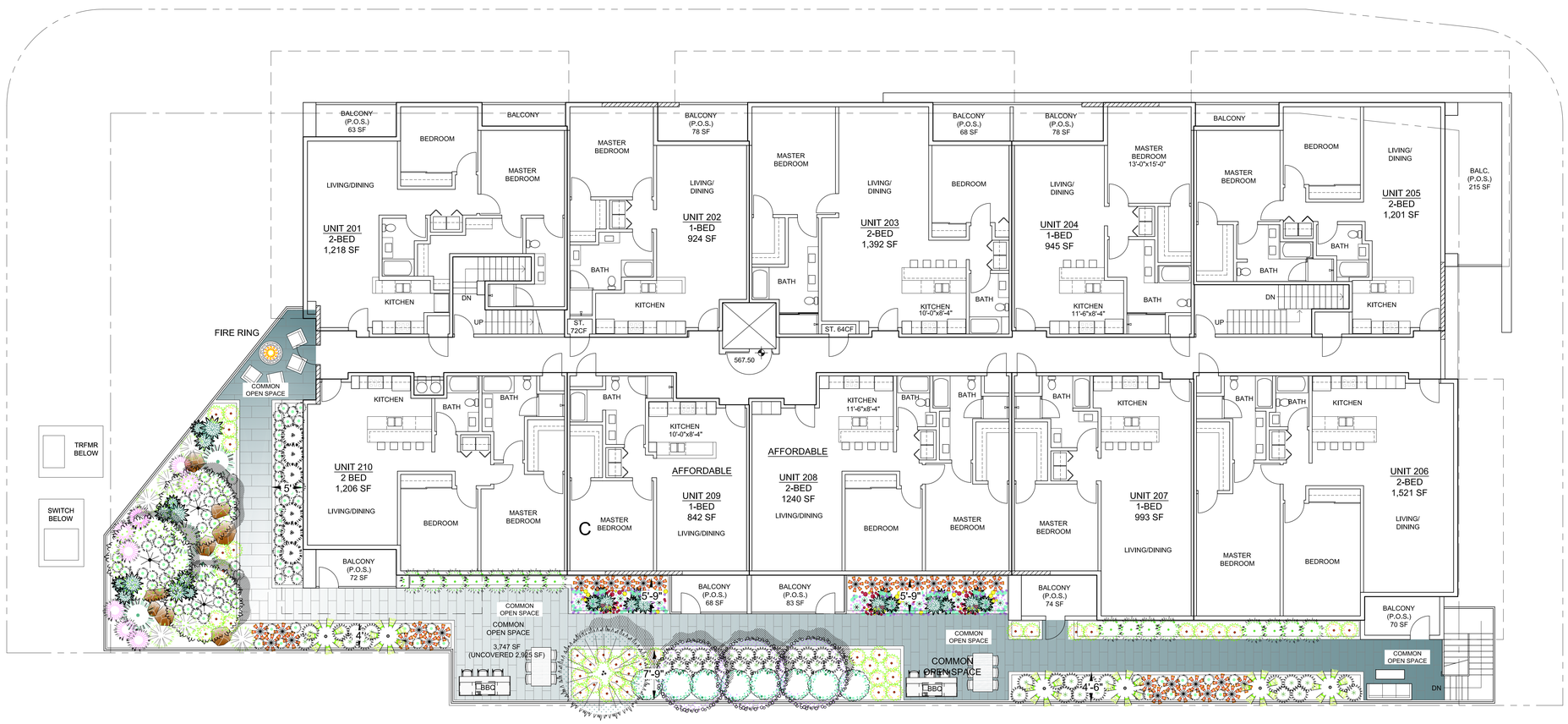
AGAVE ATTENUATA 'VARIEGATA'
VARIEGATED FOXTAIL AGAVE

YUCCA RECURVIFOLIA
LOW WATER USE

KALANCHOE PUMILA
LOW WATER USE

MIXED SUCCULENTS
ECHEVERIA 'AFTERGLOW'
AEONIUM URBICUM
AEONIUM 'ZWARTKOPF'
CRASSULA 'CAMP FIRE'
SEDUM NUSSBAUMERANUM

EUPHORBIA TIRUCALLI
'STICKS ON FIRE'M
LOW WATER USE



GROUND FLOOR LANDSCAPE PLAN

SCALE 1/8"=1'-0"

1

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LICENSED LANDSCAPE ARCHITECT
WAYNE RICHARD ROMANEK No. 2117
SIGNATURE
5/31/20
RENEWAL DATE
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3700 RIVERSIDE DRIVE

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3700 W. RIVERSIDE DRIVE
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ISSUE DESCRIPTION	
CUP DR RESUBMITTAL	09/26/2019

SHEET TITLE

SECOND FLOOR LANDSCAPE PLAN

SHEET NUMBER

L1.2

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PLANT MATERIAL

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MALGA
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SUCCULENTS

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MIXED SUCCULENTS
ECHEVERIA 'AFTERGLOW'
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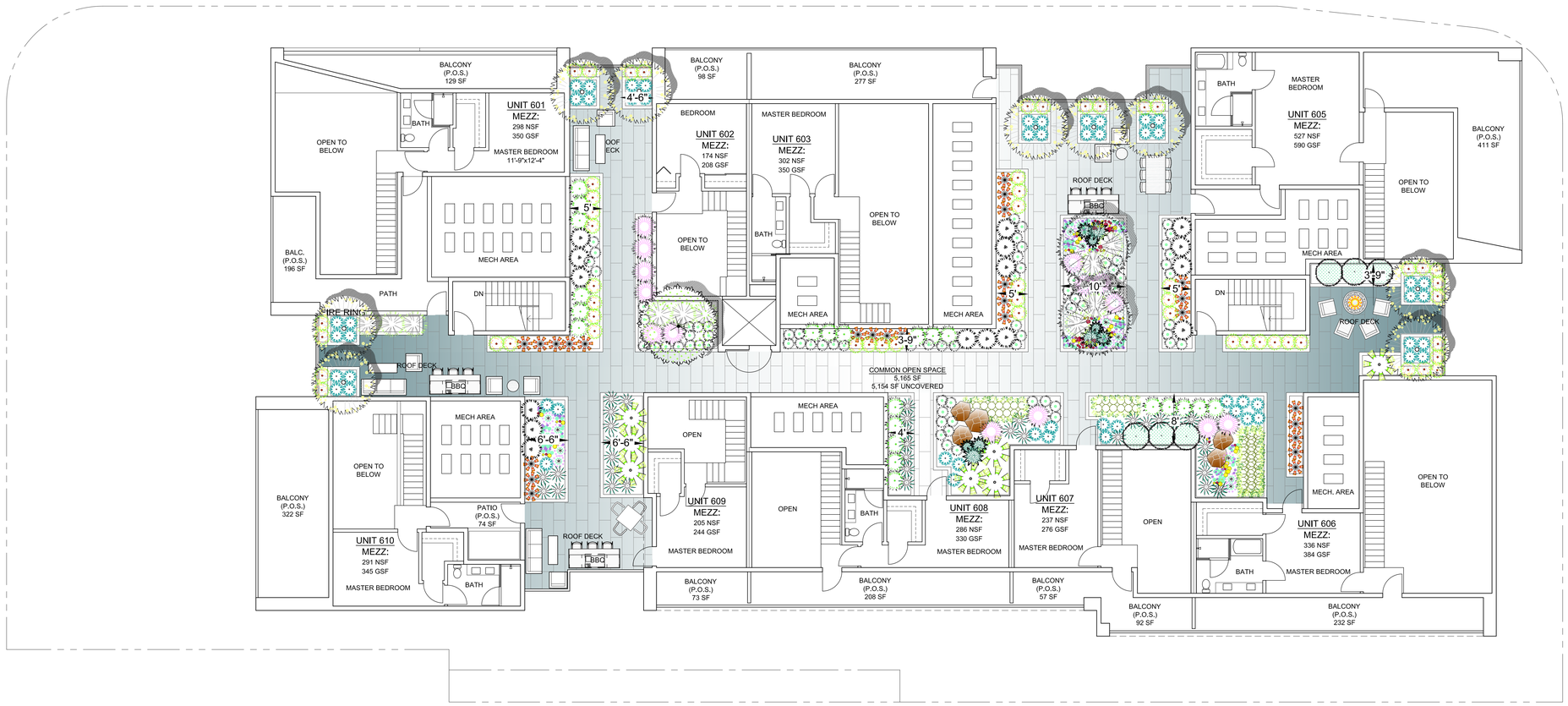
CRASSULA 'CAMP FIRE'
SEDUM NUSSBAUMERANUM

EUPHORBIA TIRUCALLI
'STICKS ON FIRE'M
LOW WATER USE



MEZZANINE/ROOF LANDSCAPE PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP DR RESUBMITTAL	09/26/2019

SHEET TITLE

MEZZANINE/ROOF LANDSCAPE PLAN

SHEET NUMBER

L1.3

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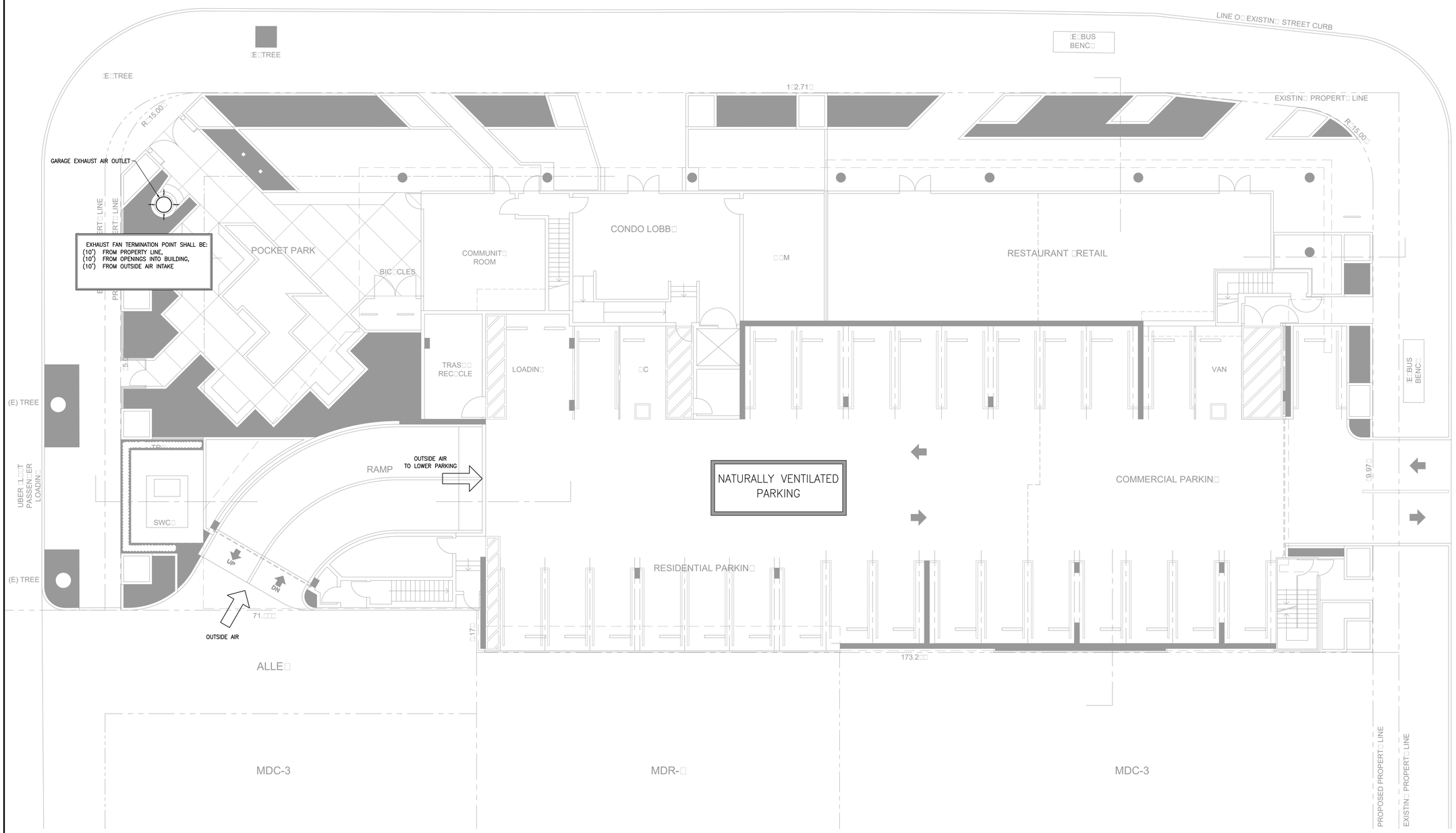

GROUND FLOOR PLAN

SCALE 1/16"=1'-0"

1

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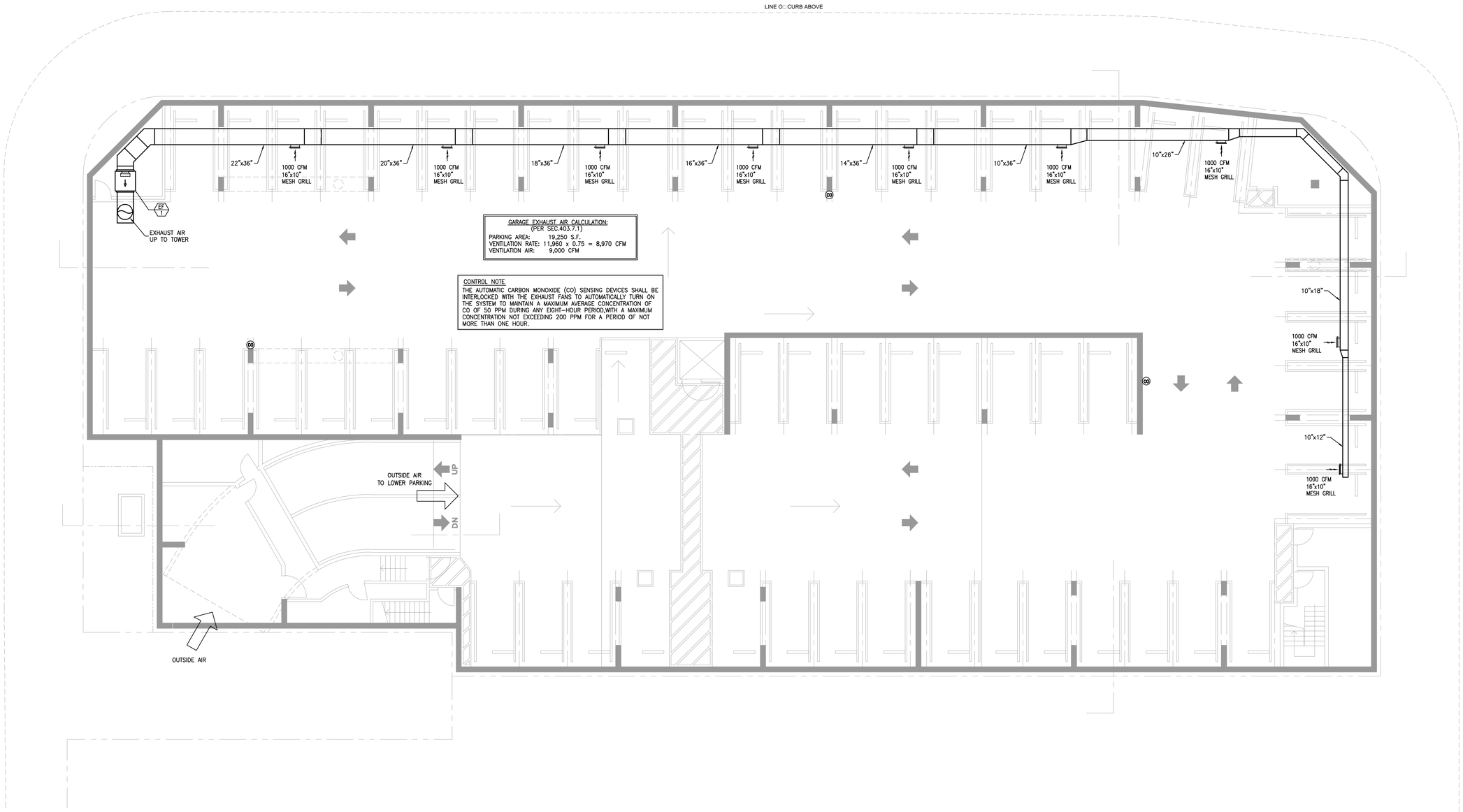
ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	09.26.19

SHEET TITLE

GROUND FLOOR PLAN

SHEET NUMBER

M1.0



PARKING LEVEL PLAN

SCALE 1/8"=1'-0"

1

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ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	09.26.19

SHEET TITLE

PARKING LEVEL PLAN

SHEET NUMBER

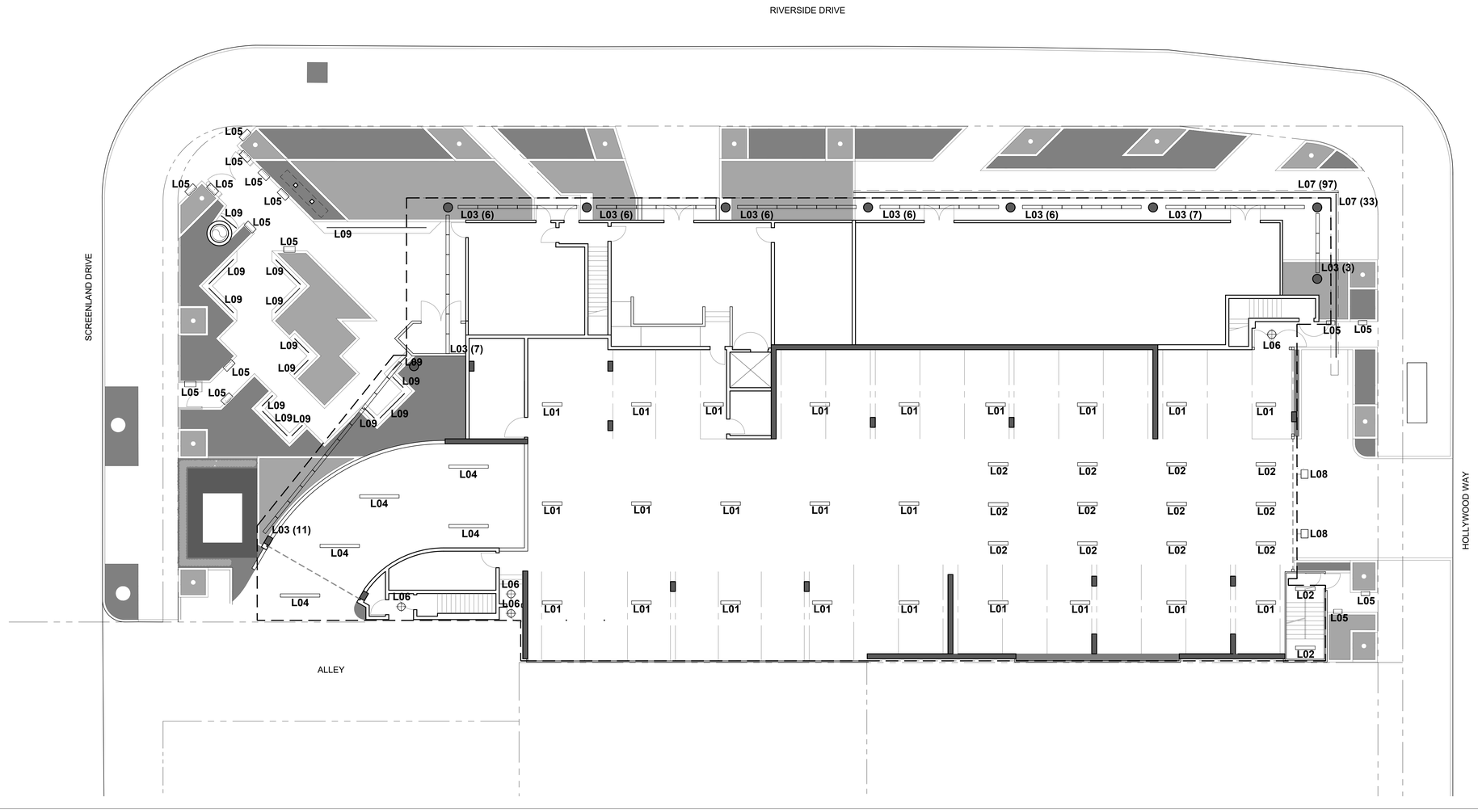
M2.0

LIGHT FIXTURE LEGEND

TYPE	IMAGE	DESCRIPTION	FINISH	LED	DRIVER	WATTAGE	MANUFACTURER & PART NUMBER	REMARKS
L01		4FT LINEAR LED 2.25IN WIDE WITH SATIN HIGH PERFORMANCE LENS ALUMINIUM HOUSING WET LISTED	ALIGHTANIUM	1 - 18W LED 3K	0 - 10V DIMMING	18	ALIGHT - ACL3-4FT-LS-30-U-HE-F-T-D-Q	GARAGE
L02		4FT LINEAR LED 2.25IN WIDE WITH SATIN HIGH PERFORMANCE LENS ALUMINIUM HOUSING WET LISTED	ALIGHTANIUM	1 - 38W LED 3K	0 - 10V DIMMING	38	ALIGHT - ACL3-4FT-LH-30-U-HE-F-T-D-Q	GARAGE
L03		LINEAR LED 2.25IN WIDE WITH SATIN HIGH PERFORMANCE LENS ALUMINIUM HOUSING WET LISTED	ALIGHTANIUM	1 - 2.5W/FT LED 3K	0 - 10V DIMMING	2.5W/FT	ALIGHT - ACL3-4FT-C2.5W/FT-30-U-HE-F-T-D-Q	GARAGE
L04		8FT LINEAR LED 2.25IN WIDE WITH SATIN HIGH PERFORMANCE LENS ALUMINIUM HOUSING WET LISTED	ALIGHTANIUM	1 - 36W LED 3K	0 - 10V DIMMING	36	ALIGHT - ACL3-8FT-LS-30-U-HE-F-T-D-Q	GARAGE
L05		SMALL HIGH PERFORMANCE STEPLIGHT 2.75IN TALL BY 2.59" WIDE	STANDARD FINSH ALUMINIUM	1 - 3.4W LED 3K	LEADING TRAILING EDGE DIMMING	3.4	LUCIFER - ISL1-2-STANDARD FINISH-80L-02B-2 BACKBOX TO BE DETERMINED BY ARCHITECT CONTRACTOR TO PROVIDE ALL ACCESSORIES NEEDED FOR INSTALLATION	RECESSED
L06		6IN RECESSED LED DOWNLIGHT WITH DIFFUSED LENS 4IN RECESSED LED DOWNLIGHT WITH DIFFUSED LENS AT UPPER ' RESIDENTIAL' FLOOR EXTERIOR BALCONY CEILINGS	SEMI SPECULAR ALUMINIUM	1 - 12.6W LED 3K	0 - 10V DIMMING	12.6	PRESCOLITE - LF6SL-6LFSL-11L-30K-DL	RECESSED
L07		LINEAR LED EXTERIOR WET LISTED IP65 WITH 10X60 OPTIC LINE VOLTAGE NO REMOTE DRIVERS	ANODIZED ALUMINIUM	1 - 6W/FT LED COLOR TBD	LEADING TRAILING EDGE DIMMING	6W/FT	BOCA FLASHER - HPNLS-LO6-TBD COLOR-10X60-VOLT-A-W-F-C-ROW-IP65 CONTRACTOR TO PROVIDE ALL ACCESSORIES NEEDED FOR INSTALLATION	SURFACE FIXTURE MOUNT IN MARQUEE DOUBLE ROW UP / DOWN
L08		FULL CUTOFF DECORATIVE WALL SCONCE FLAT FACIA SOLID FRONT TYPE 3 DISTRIBUTION DOWN LIGHT ONLY	STANDARD FINISH ALUMINIUM	1 - 25W LED 3K	0 - 10V DIMMING	25	AAL - CY2-25-3K7-1-3-UNV-STANDARD FINISH-F	SURFACE
L09		EXTERIOR RATE LED LINEAR WITH 120 DEGREE OPTIC INTEGRAL DRIVER IP65	ANODIZED ALUMINIUM	1 - 3W/FT LED 3K	LEADING TRAILING EDGE DIMMING	3W/FT	BOCA FLASHER - NANO-X-3W-3K-VOLT-120-A-F-E-C-IP65 CONTRACTOR TO PROVIDE ALL ACCESSORIES NEEDED FOR INSTALLATION MOUNTED UNDER BENCHES NOT VISIBLE DIRECTLY	SURFACE

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAMP-W	Illuminance	Fc	10.90	16	5	2.18	3.20
PARKING	Illuminance	Fc	4.79	15.0	1.0	4.79	15.00
PARKING-ENTRY	Illuminance	Fc	13.62	17	9	1.51	1.89
PLANTER-W	Illuminance	Fc	5.21	9.5	1.4	3.72	6.79
SITE	Illuminance	Fc	5.97	65.8	0.1	59.70	658.00
STAIR-SE_Floor	Illuminance	Fc	6.71	16	3	2.24	5.33



SCALE 1"=10'-0"

1

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3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19

SHEET TITLE

SITE LIGHTING PLAN

SHEET NUMBER

LT1.1

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GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF NATIONAL ELECTRIC CODE AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES. WHERE THE PLANS SHOW MORE RESTRICTIVE REQUIREMENTS, THE PLANS SHALL GOVERN BUT NOTHING ON THESE PLANS SHALL BE INTERPRETED AS AUTHORITY TO VIOLATE ANY CODE OR REGULATION.
2. PROVIDE ALL LABOR, MATERIALS, APPLIANCES, TOOLS, EQUIPMENT, FACILITIES, TRANSPORTATION, AND SERVICES NECESSARY FOR AND INCIDENTAL TO PERFORMING ALL OPERATIONS IN CONNECTION WITH FURNISHING, INSTALLATION, AND MAKING FULLY OPERATIONAL THE WORK OF THIS DIVISION, COMPLETE, AND AS SHOWN AND/OR SPECIFIED HEREIN. EXCEPT SUCH MATERIAL OR EQUIPMENT SPECIFICALLY INDICATED AS PROVIDED BY THE OWNER OR BY OTHERS.
3. IN THE EVENT OF CONFLICT OR INCONSISTENCY BETWEEN ITEMS INDICATED ON THE PLANS AND/OR SPECIFICATIONS, THE PLAN, NOTE OR SPECIFICATION WHICH PRESCRIBES AND ESTABLISHES THE MORE COMPLETE JOB OR THE HIGHER STANDARD SHALL PREVAIL.
4. THE CONTRACTOR SHALL EXAMINE THE SITE AND THE AREA WHERE THE WORK IS TO BE PERFORMED. BY SUBMITTING A BID ON THE WORK, HE SHALL BE DEEMED TO HAVE ACCEPTED THE SITE CONDITION.
5. FINISH AND INSTALL ALL CONDUITS, WIRES, BOXES, SWITCHES, LIGHT FIXTURES(WITH LAMPS), RECEPTACLES, SERVICE DEVICES, SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, AND ALL RELATED ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
6. FURNISH AND INSTALL CONDUIT AND CONDUCTORS FOR CABLE TV, TELEPHONE, DATA SYSTEMS, AND SECURITY SYSTEM AS OUTLINED IN PLANS.
7. ALL MATERIAL SHALL BE NEW AND OF THE HIGHEST QUALITY, AND SHALL MEET THE FULL APPROVAL OF OWNER OR ENGINEER.
8. MATERIALS FURNISHED SHALL BE STANDARD PRODUCTS OF THE MANUFACTURER REGULARLY ENGAGED IN MANUFACTURING OF SUCH PRODUCT. USE LATEST DESIGN THAT COMPLIES WITH THE SPECIFICATION REQUIREMENTS WITH AT LEAST 12 MONTH OF SUCCESSFUL RECORD.
9. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR THE UNDERWRITERS' LABEL (UL) AND SHALL BE INSTALLED IN THE MANNER FOR WHICH THEY ARE DESIGNED AND APPROVED.
10. ALL WORK AND MATERIALS OF THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. LIGHTING FIXTURES BALLASTS SHALL BE GUARANTEED FOR TWO(2) YEARS. BATTERY PACKS SHALL BE GUARANTEED FOR FIVE YEARS.
11. NO EXTRA WORK SHALL BE UNDERTAKEN WITHOUT WRITTEN APPROVAL OF THE OWNER OR HIS REPRESENTATIVE.
12. CONTRACTOR SHALL OBTAIN AND PAY FOR PERMIT AND INSPECTIONS REQUIRED.
13. THE DRAWINGS INDICATE DIAGRAMMATICALLY THE DESIRED LOCATIONS OR ARRANGEMENT OF CONDUIT RUNS ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. PROPER JUDGMENT MUST BE EXERCISED IN EXECUTING THE WORK AS TO SERVE THE POSSIBLE INSTALLATION IN THE AVAILABLE SPACE AND TO OVERCOME LOCAL DIFFICULTIES DUE TO SPACE LIMITATIONS OR INTERFERENCE OF STRUCTURAL CONDITIONS ENCOUNTERED.
14. LOCATIONS SHOWN ON THE INTERIOR AND MECHANICAL DRAWINGS TAKE PRECEDENCE OVER THOSE SHOWN ON THE ELECTRICAL DRAWINGS. REFER TO MECHANICAL, PLUMBING AND HEAT/AC DRAWINGS FOR THE EXACT LOCATIONS, RATINGS, TYPE, CONNECTIONS, WIRING DIAGRAM AND AUXILIARY DEVICES.
15. REFER TO THE REFLECTED CEILING PLAN AND THE INFERIOR FLOOR PLANS FOR THE EXACT LOCATIONS OF LIGHTING FIXTURES AND DEVICES. VERIFY LOCATION OF LIGHTS WITH EXPOSED DUCTWORK AND PIPING.
16. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
17. THE ELECTRICAL CONTRACTOR IN COOPERATION WITH THE MECHANICAL CONTRACTOR SHALL DEMONSTRATE THAT ALL EQUIPMENT IS IN PERFECT WORKING ORDER. THE ELECTRICAL CONTRACTOR SHALL MAKE ALL POWER CONNECTIONS OVER 100V TO A/C EQUIPMENT.
18. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL CONDUIT ONLY WITH PULL ROPE FOR LOW VOLTAGE CONTROL WIRING FOR THE A/C EQUIPMENT. CONTROL WIRING FROM THERMOSTATS AND OVERRIDES TO A/C UNITS IS BY THE MECHANICAL CONTRACTOR.
19. THE CONTRACTOR MAY USE TEMPORARY POWER AND WATER AVAILABLE FOR LIGHTING AND SMALL TOOLS. TOILET FACILITIES ON SITE MAY BE USED BY CONTRACTOR PERSONNEL.
20. SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO ENGINEER FOR ALL PANELBOARDS. DRAWINGS SHALL BE PICTORIAL AND INDICATE ALL MATERIAL RATINGS, DIMENSIONS AND FINISHES.
21. CONTRACTOR SHALL MAINTAIN, ON THE JOB, A SET OF PRINTS OF WHICH ALL DAILY CHANGES IN LOCATION OR RUNS SHALL BE CAREFULLY INDICATED. THESE PRINTS SHALL BE DELIVERED TO THE OWNER AT THE CONCLUSION OF THE PROJECT, INDICATING 'AS BUILT' CONDITION.
22. ACCOMPLISH ALL TEST NECESSARY TO DEMONSTRATE TO THE SATISFACTION OF THE OWNER THAT ALL EQUIPMENT IS IN PROPER WORKING ORDER AND IS IN COMPLIANCE WITH THE PLANS.
23. CLEAN UP ALL TRASH AND DEBRIS BY THE WORK DAILY.
24. THE GENERAL CONDITIONS OF THE CONTRACT APPLY TO ALL WORK HEREIN SPECIFIED.
25. CUTTING, DRILLING, AND PATCHING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE SPECIFICATIONS.
26. ROUGH- AND FURNISHED-CONCRETE WORK REQUIRED SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE SPECIFICATIONS.
27. SUBSTITUTIONS: MANUFACTURER AND CATALOG NUMBERS INDICATED ARE FOR THE PURPOSES OF ESTABLISHING STANDARDS OF QUALITY, ALLOWABLE SIZE OF COMPONENTS, AND THE TYPE OF MATERIALS TO BE USED, PRODUCTS BY OTHER MANUFACTURERS WILL BE CONSIDERED IF THE SUBMITTAL ASSOCIATED WITH THAT ITEM IS CLEARLY MARKED " THIS ITEM IS A SUBSTITUTION" AND IT COMPLIES WITH THE FOLLOWING: (1) QUALITY AND CAPACITY ARE EQUAL TO OR BETTER THAN SPECIFIED ITEM, AND (2) COMPONENTS FIT IN ALLOWED SPACES AND ARE SIMILAR IN APPEARANCE. NO SUBSTITUTION ITEMS MAY BE FURNISHED OR INSTALLED WITHOUT WRITTEN APPROVAL OF THE OWNER.
28. OPERATIONS AND MAINTENANCE MANUALS: THREE COPIES OF OPERATING AND MAINTENANCE DATA FOR ALL ELECTRICAL EQUIPMENT, BOUND IN A HARDCOVER THREE-RING PLASTIC BINDER WITH A TABLE OF CONTENT.
29. COORDINATION: PROVIDE NECESSARY COORDINATION WITH SERVING UTILITY COMPANIES TO ESTABLISH SERVICE ENTRANCE FACILITIES, AND TO MEET OTHER REQUIREMENTS FOR A COMPLETE AND OPERABLE INSTALLATION. VERIFY SIZE AND ORIENTATION OF EQUIPMENT TO BE ENSURE ADEQUATE WORKING CLEARANCE AND VENTILATION. COORDINATE THE WORK OF OTHER TRADES, VERIFYING REQUIRED WORKING. CLEARANCES, SLEEVES, SUPPORTS, DOOR SWINGS, AND OTHER ITEMS AFFECTING THE WORK OF THIS SECTION. VERIFY THE METHODS OF INSTALLING AND CONNECTING EQUIPMENT, OUTLETS, AND OTHER ITEMS.
30. QUALITY ASSURANCE: ALL MATERIALS AND THE MANNER IN WHICH THEY ARE APPLIED AND INSTALLED SHALL BE IN COMPLIANCE WITH THE LATEST RULES AND REGULATIONS OF THE CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 3 "CALIFORNIA ELECTRICAL CODE" THE NATIONAL ELECTRICAL CODE; AND OTHER APPLICABLE STATE- AND LOCAL-LAWS AND REGULATIONS. PROTECTION AND CLEANING: ALL PARTS OF EQUIPMENT AND MATERIALS SHALL BE THOROUGHLY CLEANED. PROTECT ALL WORK, MATERIALS AND EQUIPMENT FROM DAMAGE FROM ANY CAUSE AND PROVIDE ADEQUATE AND PROPER STORAGE FACILITIES DURING THE PROGRESS OF THE WORK. PROVIDE FOR THE SAFETY AND GOOD CONDITION OF ALL THE WORK UNTIL FINAL ACCEPTANCE BY THE OWNER; REPLACE ALL DAMAGED OR DEFECTIVE. WORK, MATERIALS AND EQUIPMENT PRIOR TO REQUESTING FINAL ACCEPTANCE. PROVIDE AND MAINTAIN SUITABLE BARRIERS, WARNING SIGNS, LIGHTS, ETC. WHERE REQUIRED FOR PROTECTION OF THE PUBLIC AND OCCUPANTS ABOUT THE SITE. AT THE CONCLUSION OF EACH WORKDAY, THE PREMISES SHALL BE LEFT FREE FROM DEBRIS INCIDENTAL TO THE WORK, AND IN A CONDITION ACCEPTABLE TO THE OWNER OR TENANT.

MATERIAL

1. CONDUITS OUTSIDE THE BUILDING SHALL BE RIGID STEEL STANDARD WEIGHT HOT DIPPED GALVANIZED THREADED AT BOTH ENDS OR EMT WHERE APPLICABLE.
2. UNDERGROUND CONDUITS IF ANY SHALL BE PVC SCHEDULE 40.
3. THE WIRING CAN BE ROMEX WHERE PERMITTED BY LOCAL JURISDICTION. ALL OTHER CONDUITS INSIDE THE BUILDING SHALL BE ELECTRICAL METALLIC TUBING (EMT) OR MC CABLE UNLESS IF SUBJECT TO DAMAGE. CONDUITS SUBJECT TO PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL CONDUIT.
4. FLEXIBLE LIQUID TIGHT METAL CONDUITS SHALL BE USED FOR FINAL CONNECTION TO ROTATING EQUIPMENT, CONDENSING UNITS. EXHAUST FAN AND FAN COILS. A GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL FLEXIBLE METALLIC CONDUIT RUNS.
5. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAT THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH IT MAY BE SUBJECTED.
6. ALL DEVICES INSTALLED OUTSIDE OR IN DAMP LOCATIONS SHALL BE APPROVED WEATHERPROOF.
7. CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. INSULATED WIRES AND CABLES MANUFACTURED MORE THAN SIX (6) MONTH PRIOR TO DATE OF DELIVERY TO THE SITE SHALL NOT BE USED. ALL WIRE SHALL BE UL LISTED, RATED FOR 600 VOLTS, NO 12 MINIMUM SIZE EXCEPT FOR CONTROLS OR OTHERWISE AS NOTED.
8. GROUNDING CONDUCTORS SHALL BE SOFT DRAWN INSULATED COPPER WIRE AS INDICATED WITH GREEN COLORED INSULATION OR GREEN PLASTIC IDENTIFICATION BENDS. GROUNDING AND BONDING OF EQUIPMENT SHALL CONFORM TO UL 467.
9. WIRES SHALL BE SPLICED WITH AN INSULATED CONNECTOR. SPLICES OF WIRES NO. 8 AWG AND LARGER SHALL BE MADE WITH APPROVED SOLDERLESS CONNECTORS AND THEN SHALL BE COVERED NEATLY WITH INSULATING TAPES, HOT MOLDED COMPOSITION COVERS, OR OTHER APPROVED EQUIVALENT TO THE CONDUCTOR INSULATION.
10. CONNECTORS AND TERMINALS CONFORMING TO UL 486 SHALL BE DESIGNATED FOR USE WITH THE SPECIFIC ASSOCIATED CONDUCTOR MATERIAL, AND SHALL PROVIDE A UNIFORM COMPRESSION OVER THE ENTIRE CONTACT SURFACE. TERMINATION LUGS SHALL BE USED ON ALL STRANDED CONDUCTORS.
11. ELECTRICAL TAPES USED FOR ELECTRICAL INSULATION AND OTHER PURPOSES IN WIRE AND CABLE SPLICES, TERMINATIONS, REPAIRS, AND MISCELLANEOUS PURPOSES SHALL CONFORM TO THE REQUIREMENT OF UL STANDARD 510.
12. OUTLET BOXES, EXTENSION RINGS AND COVERS SHALL BE PRESSED STEEL, GALVANIZED, KNOCKOUT TYPE. SIZES SHALL BE AS REQUIRED BY CODE FOR THE NUMBER OF WIRES ENTERING BOX. PLASTER RINGS SHALL BE PROVIDED FOR FLUSH MOUNTING.
13. DISCONNECT SWITCHES FUSED OR UNFUSED SHALL BE HEAVY DUTY TYPE, SIZED FOR LOAD NOTED ON THE PLANS, UL LISTED AND HORSEPOWER RATED, WITH PROVISIONS TO PAD LOCK HANDLE IN "ON" OR "OFF" POSITION. ENCLOSURE SHALL BE NEMA 3R FOR OUTSIDE OR NEMA 1 FOR INSIDE.
14. THREE (3) SPARE FUSES OF EACH TYPE SHALL BE PROVIDED TO THE OWNER. FUSES SHALL BE DUAL ELEMENT, TIME DELAY, HIGH INTERRUPTING TYPE, UL APPROVED. FUSE SIZES IN SWITCHES FOR HVAC EQUIPMENT SHALL BE AS SPECIFIED BY EQUIPMENT MANUFACTURER.
15. FURNISH ALL RELAYS, TIME CLOCKS, CONTROL TRANSFORMERS, ETC., REQUIRED FOR INSTALLATION.
16. PANELBOARDS MAY BE PLUG-IN CIRCUIT BREAKER TYPE. DEAD FRONT IN BEAKERS SHALL BE RATED AS INDICATED ON PLANS, NEMA 1 ENCLOSURE FOR INTERIOR PANELS, NEMA 3R ENCLOSURE FOR EXTERIOR PANELS.
17. LIGHTING FIXTURES SHALL BE FURNISHED COMPLETE WITH ALL COMPONENTS, LAMPS AND MOUNTING ACCESSORIES. ALSO SEE FIXTURE SCHEDULE.
18. RECEPTACLES: DUPLEX, THREE-WIRE GROUNDING TYPE, RATED 20A AT 125V, NEMA CONFIGURATION 5-20R. PROVIDE GFCI (SELF-CONTAINED) TYPE AT LOCATIONS SHOWN. FOR EXTERIOR LOCATIONS, PROVIDE WITH WEATHERPROOF BOX, AND ALUMINUM GASKETED SPRING-SHUT COVER. HUBBELL 53XX-SERIES, OR EQUAL FROM PASS & SEYMOUR OR LEVITON.
19. SWITCHES: TOGGLE TYPE, NUMBER OF POLES AS SHOWN, QUIET TYPE, RATED 20A AT 120/277V. HUBBELL HBL 12XX-SERIES, OR EQUAL FROM PASS & SEYMOUR OR LEVITON.
20. SWITCHBOARDS (SEE SINGLE LINE DIAGRAM): NEMA PB 2; UL 891. RATED AS SHOWN. CU/AL BUS. SIEMENS, CUTLER HAMMER, OR EQUAL BY SQUARE-D OR GE.
21. DISCONNECT SWITCHES: NEMA KS 1, UL 98, UL 198C AND 198E. RATED AS SHOWN, HEAVY DUTY TYPE, EXTERNALLY-OPERATED, QUICK-MAKE QUICK-BREAK TYPE, THREE-POLE EXCEPT AS OTHERWISE SHOWN. FOR FUSIBLE TYPE, PROVIDE DUAL-ELEMENT TIME-DELAY CLASS RK-1 CURRENT -LIMITING FUSES. FOR EXTERIOR LOCATIONS, AND WHERE INDICATED, PROVIDE NEMA 3R ENCLOSURES. SQUARE-D, OR EQUAL BY GE OR WESTINGHOUSE.
22. MOTOR CONTROLLERS: A. NEMA ICS 2/ICS 6/250/AB 1/FU 1/KS 1; UL 98/198C/198E/489/508. PROVIDE MANUAL MOTOR CONTROLLERS FOR SINGLE-PHASE MOTORS RATED BELOW 2 HP, AND COMBINATION MOTOR CONTROLLERS AS SHOWN. B. MANUAL MOTOR CONTROLLERS: MANUAL MOTOR STARTING SWITCH WITH INTEGRAL THERMAL TYPE OVERLOAD PROTECTION, TOGGLE LEVER TYPE, ALLEN-BRADLEY BULLETIN 609, OR EQUAL BY SQUARE-D, GE OR WESTINGHOUSE. C. COMBINATION MOTOR CONTROLLERS: ENCLOSED COMBINATION STARTER, FUSIBLE DISCONNECT SWITCH TYPE, ALLEN-BRADLEY BULLETIN 512, OR EQUAL BY SQUARE-D, GE OR WESTINGHOUSE.
23. PHOTOELECTRIC CONTROLLERS: RATED FOR CONNECTED LOAD, 20A MINIMUM. PARAGON, TORK, SANGANMO, OR EQUAL. 24. TELEPHONE SYSTEM: A. PROVIDE TELEPHONE SYSTEM AS FOLLOWS, EXCEPT AS OTHERWISE SHOWN: B. SERVICE ENTRANCE FACILITY: PROVIDE WALL-MOUNTED 3/4" X 4" x 8" (OR SIZE AS I INDICATED) PLYWOOD "MAIN TELEPHONE BACKBOARD" AT THE LOCATION SHOWN WITH (1) A DEDICATED 20A/120V BRANCH CIRCUIT /QUADRAPLEX POWER RECEPTACLE AND (2) A GROUNDING ELECTRODE PIGTAIL ($6 AWG BARE STRANDED COPPER CABLE ROUTED IN 1" CONDUIT DIRECTLY TO FACILITY GROUNDING ELECTRODE AND CONNECTED THEREON), AT THE TELEPHONE BACKBOARD LOCATION. C. VOICE DROPS AND CABLING PATHWAYS: PROVIDE FLUSH MOUNTED 4" SQUAREBOX/WALLPLATE WITH TELEPHONE JACK AT EACH OF THE LOCATIONS SHOWN. INCLUDING ¾" CONDUIT (WITH PULLROPE) CONTINUOUS TO THE TELEPHONE BACKBOARD LOCATION AT THE SERVICE ENTRANCE FACILITY. TELEPHONE JACKS SHALL BE PROVIDED AS SPECIFIED BY OWNER. CABLING AND ENTRANCE FACILITY TELEPHONE EQUIPMENT/CROSS-CONNECT FRAMES/NETWORK INTERANCE DEVICES WILL BE PROVIDED BY OWNER

GREEN BLDG. NOTES

1. THE OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH ALL THE FOLLOWING:
   1.1. THE MINIMUM REQUIREMENTS IN CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4.
   1.2. BACKLIGHT, UPLIGHT AND GLARE(BUG) RATING AS DEFINED IN IESNA TM-15-11.
   1.3. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLES 5.106.8.
2. NEW RESIDENTIAL GRADE EQUIPMENT AND APPLIANCES PROVIDED AND INSTALLED SHALL BE ENERGY STAR LABELED IF ENERGY STAR IS APPLICABLE TO THAT EQUIPMENT OR APPLIANCE

INSTALLATION

1. THE CONTRACTOR SHALL INSTALL ALL CONDUITS AND WIRES WITH A MINIMUM NUMBER OF BENDS AND IN SUCH A MANNER AS TO CONFORM TO THE STRUCTURE. AVOID OBSTRUCTIONS, PRESERVE HEAD ROOM, KEEP OPENINGS AND PASSAGE WAYS CLEAR AND MEET ALL STRUCTURAL CODE REQUIREMENTS. CODE-SIZED PULL BOXES SHALL BE I INSTALLED IN RUNS OF OVER 100 FEET OR MORE THAN 4 BENDS.
2. SUPPLY AND INSTALL ALL SUPPORTS AND BRACING NECESSARY FOR THE PROPER INSTALLATION OD THE EQUIPMENT.
3. ALL EXPOSED CONDUIT SHALL BE INSTALLED AT RIGHT ANGLE TO ROOM OR STRUCTURE OR ALONG EXPOSED BEAMS. CONDUITS SHALL BE SUPPORTED FROM BUILDING STRUCTURE WITH APPROVED PIPE HANGERS.
4. ALL PULL BOXES AND ALL JUNCTION BOXES MUST BE ACCESSIBLE AFTER THE CONSTRUCTION IS COMPLETE, ESPECIALLY IN CONCEALED CONDUIT INSTALLATIONS. FINISH FOR ALL EXPOSED J-BOXES AND PULL BOXES SHALL BE PER INTERIOR DESIGN.
5. ALL CONDUITS ARE SIZED TO MEET THE REQUIREMENT OF CEC TABLE 3A, "MAXIMUM NUMBER OD CONDUCTORS IN TRADE SIZES OF CONDUIT OR TUBING". CONTRACTOR SHALL CONSIDER THESE SIZES AS A MINIMUM REQUIREMENT AND INCREASE THE CONDUIT SIZE IF NECESSARY TO FACILITATE HIS CABLE PULLING.
6. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS SHOWN AND AS REQUIRED BY ALL APPLICABLE CODES AND THE SERVING UTILITY. NO CONDUIT SHALL BE USED AS A GROUND, EXCEPT FOR LIGHTING CIRCUIT.
7. INCLUDE A GREEN-WIRE SIZED AS REQUIRED BY NATIONAL ELECTRICAL CODE IN ALL CONDUIT RUN D FOR EQUIPMENT GROUND AND GREEN-YELLOW STRIPE WIRE FOR ISOLATED GROUND AS SHOWN ON PARTICULAR CONDUIT RUNS ALONG WITH THE GREEN WIRE. SAME APPLIES TO FLEXIBLE CONDUITS EVEN IF UL LABELED FOR GROUND, UNLESS USED IN LIGHTING CIRCUITS.
8. PROVIDE FIRE PROOFING FOR PENETRATIONS THROUGH RATED WALLS AND FLOORS.
9. ALL CUTTING AND PATCHING REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK SHALL BE DONE BY THIS CONTRACTOR. DO NOT CUT OR DRILL STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER. ALL CUTTING AND PATCHING SHALL BE NEAT, AND PATCHING SHALL MATCH ADJACENT SURFACE AS TO TEXTURE AND FINISH. ALL SURFACE SHALL BE REPLACED IN KIND.
10. BACK TO BACK INSTALLATION OF OUTLET IS NOT PERMITTED IN ROOMS INSULATED FOR SOUND, BECAUSE OF SOUND TRANSFERENCE THROUGH OUTLETS. SEAL SUCH OUTLETS AIR TIGHT.
11. DIMENSIONS SHOWN ON OUTLET BOXES SHALL BE FROM THE FINISHED FLOOR TO THE CENTER OF THE BOX.
12. FLUORESCENT FIXTURES SHALL BE SUPPORTED FROM STRUCTURE ABOVE.
13. ALL PENETRATION THROUGH ROOF SHALL BE FLASHED AND COUNTER FLASHED TO MAKE WATER-TIGHT,
14. PROVIDE A MANUAL DISCONNECTING MEANS AT MOTOR FOR ALL MOTORS NOT WITHIN SIGHT OF THE SERVING PANEL OR THEIR DISCONNECT.
15. INSTALL BLANK PLATES AS REQUIRED TO CLOSE OPENINGS IN SWITCHBOARDS OR PANELS WHERE EQUIPMENT HAS BEEN REMOVED.
16. ELECTRICAL IDENTIFICATION: PROVIDE NAMEPLATES FOR SWITCHBOARDS, PANELBOARDS, DISCONNECT SWITCHES, CONTACTORS/RELAYS, and TERMINALCABINET/BACKBOADS, MOTOR CONTROLLERS, INDIVIDUALLY-MOUNTED ANY OTHER CONTROL DEVICE OR MAJOR ITEMS OF ELECTRICAL EQUIPMENT.
17. NAMEPLATES SHALL BE BLACK-ON-WHITE LAMINATED PLASTIC, ATTACHED WITH MACHINE SCREWS. LETTERING SHALL BE ¼" HIGH MINIMUM, CORRESPONDING TO THE DESIGNATION (OR ADDITIONAL INFORMATION) SHOWN. COLOR CODE ALL WIRE WITH INSULATION/JACKET (FACTORY-APPLIEDO COLOR FOR PHASE IDENTIFICATION (CONTINUOUS FOR CIRCUIT FROM OUTLET-TO OUTLET, PULL BOX, OR CABINET) AS FOLLOWS:

SYSTEM VOLTAGE

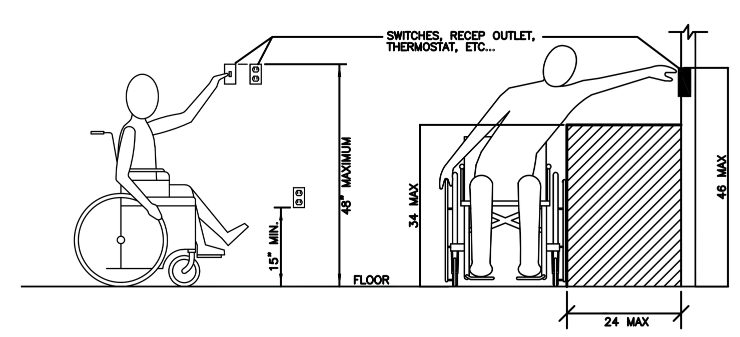
PHASE	208Y/120	480Y/277
A	BLACK	YELLOW
B	RED	BROWN
C	BLUE	ORANGE
NEUTRAL	WHITE	WHITE
GROUND	GREEN	GREEN

18. LIGHT FIXTURE IN CONTACT WITH INSULATION TO BE U.L. LISTED FOR THERMAL BARRIER OR PROVIDE 3" MINIMUM CLEARANCE.
19. PANEL CIRCUIT DIRECTORY TO COMPLY WITH SECT. 408.4, CEC.
20. W.P. COVER OF OUTLETS TO COMPLY WITH SECT. 406.8(B)(1), CEC.

START-UP

1. TEST THE ENTIRE WIRING SYSTEM FOR SHORT CIRCUITS, GROUNDS AND INSULATION RESISTANCE BETWEEN CONDUCTORS AND TO GROUND.
2. DEMONSTRATE THAT THE EQUIPMENT OPERATES IN ACCORDANCE WITH THE REQUIREMENTS OF THESE DRAWINGS. DEMONSTRATE THAT PROTECTIVE FUNCTIONS ARE OPERATING PROPERLY AND INCORPORATED IN THE CONTROL SYSTEM CIRCUIT BREAKER, AND MOTOR CONTROL CENTER CIRCUITRY.
3. CHECK VOLTAGE AMPLITUDE AND BALANCE BETWEEN PHASES FOR LOADED AND UNLOADED CONDITIONS.
4. SET THE OVERLOAD HEATERS OF INDIVIDUAL MOTORS ACCORDING TO SERVICE, CODE AND MANUFACTURER'S REQUIREMENT.
5. CHECK AND CORRECT THE ROTATION OF ALL MOTORS. CHECKS WITH THE CONTRACTOR RESPONSIBLE FOR DRIVEN EQUIPMENT.
6. ALL TESTS TO BE PERFORMED IN PRESENCE OF THE OWNER. SUBMIT THE REPORTS TO THE ENGINEER FOR REVIEW.

RECEPT. MOUNTING HEIGHT



ELECTRICAL CODE

1. PROVIDE A GROUNDING SYSTEM FOR A SEPARATE STRUCTURE PER CEC 250-32(B).
2. PROVIDE WORKING CLEARANCES @ NEW & EXISTING EQUIPMENT. CEC ART. 110-26.
3. GROUNDING ELECTRODE CONDUCTOR INSTALLATION SHALL COMPLY WITH CEC ART.250-64.
4. GROUNDING ELECTRODE CONDUCTOR ENCLOSURE SHALL COMPLY WITH CEC, ART.250-64(E)
5. GROUNDING ELECTRODE CONDUCTOR CONNECTION TO THE ELECTRODE SHALL COMPLY WITH CEC 250-70.
6. COMPLY WITH CEC ART 670 FOR INSTALLATION OF INDUSTRIAL MACHINERY.
7. METHOD OF GROUNDING OF ALL TRANSFORMERS SHALL COMPLY WITH CEC, ART.250-30.
8. GROUND FAULT PROTECTION @ SERVICES SHALL BE PROVIDED PER CEC, ART.230-95.
9. CONDUIT BURIAL DEPTH PER CEC TABLE 300-5
10. BONDING FOR CIRCUITS OF OVER 250 VOLTS TO GROUND SHALL COMPLY WITH CEC, ART.250-97. NOTE THAT STANDARD LOCK NUTS ARE NOT PERMITTED IN THE INSTALLATION OF THE RACEWAY.
11. TORQUEING OF TERMINATIONS SHALL BE IN ACCORDANCE WITH THE EQUIPMENT LABEL AND PRIOR OF TORQUE IS REQUIRED PRIOR TO FINAL. CEC, ART.110-3(B).
12. ALL EQUIPMENT SHALL BE LISTED & LABELED BY AN APPROVED TESTING AGENCY. TESTING BY AN APPROVED TESTING LABORATORY WILL BE REQUIRED BEFORE FINAL APPROVAL IS GRANTED.
13. A NEUTRAL FAULT TEST IS REQUIRED PRIOR TO FINAL. CEC, ART.250-24(A) (5).
14. PROVIDE AN EQUIPMENT GROUNDING CONDUCTOR FOR ALL CIRCUITS PER CEC, ART.250-110 AND ART.250-118.
15. GROUNDING ELECTRODE SYSTEM SHALL COMPLY WITH CEC, ART.250-50.
16. BONDING SHALL COMPLY WITH CEC 250, PART E.
17. THE CONTRACTOR SHALL PROVIDE TO THE CITY THE AIC VALUE AND THE NOMINAL CIRCUIT VOLTAGE SUPPLIED TO THE SERVICE BY THE ELECTRICAL UTILITY IN THE FORM OF LETTER THAT SHALL BE WRITTEN UPON THE ELECTRICAL UTILITY'S LETTERHEAD. A COPY OF THIS SHALL BE PLACED ON THE PLAN.
18. THE ELECTRICAL EQUIPMENT SHALL BE RATED FOR THE AVAILABLE FAULT CURRENT AS SPECIFIED IN THE SINGLE LINE DIAGRAM NOTES PER CEC, ART.110-9.
19. ISOLATED GROUNDING CONDUCTORS SHALL TERMINATE AT THE SERVICE. CEC, ART.250-96(B).
20. ALARM SYSTEMS AND ELECTRIC SIGNS SHALL BE ON A SEPARATE AND ART.210-19(A).
21. DURATION OF CONDUCTORS WILL APPLY PER CEC, ART.310-15(B) (2) (A) PERMIT.
22. A 125V RECEPTACLE (GFCI PROTECTED & WP) IS REQUIRED WITHIN 25 FEET OF ROOF MOUNTED EQUIPMENT. CEC, ART.210-63, ART. 210-8(B).
23. COMMUNICATION & DATA CONDUCTORS RUN IN CONDUIT OR OTHER RACEWAYS SHALL HAVE A BUSHING, OR OTHER TERMINAL FITTING, WITH AN INTEGRAL BUSHED OPENING @ THE END OF THE CONDUIT OR RACEWAY. CEC, ART.300-4.
24. BREAKERS USED AS SWITCHES IN LIGHTING SYSTEMS SHALL BE MARKED"SWD" PER CEC, ART.240-83(D). 25. ELECTRICAL CONTRACTOR TO PREPARE CONDUITS AND BACK BOXES, SUPPORT, ETC. FOR FIRE ALARM SYSTEM INSTALLATION.

ABBREVIATIONS

WP	WEATHER PROOF
C.O.	CONDUIT ONLY
A/C	AIR CONDITIONING
CKT	CIRCUIT
FLA	FULL LOAD AMPERE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
H.P.	HORSEPOWER
LTG	LIGHTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NL	UNSWITCHED NIGHT LIGHT
PB	PULL BOX
UG	UNDERGROUND
U.O.N.	UNDERGROUND UNLESS OTHERWISE NOTED
V.L.	VERIFY LOCATION
AHJ	AUTHORITY HAVING JURSTICTION
VOC	OPEN CIRCUIT VOLTAGE
ISC	SHORT CIRCUIT CURRENT
VMPP	OPERATING CURRENT
WSTC	WATTS AT STANDARD TEST CONDITIONS
WPTC	WATTS AT PV USA CONDITIONS
ADJ.STC	1.12 X STC
A	AMPERES
P	POLE
B.C	BARE COPPER
COND	CONDUIT
CU	COPPER
EGC	EQUIPMENT GROUNDING CONDUCTOR
N.E.C.	NATIONAL ELECTRICAL CODE

LEGEND OF SYMBOLS

SYMBOL	DESCRIPTION
A ◯ 3a	LIGHT OUTLET A-FIXTURE DESIGNATION a-SWITCH DESIGNATION 3- CIRC. NO. (SEE PANEL)
NEUTRAL, GRD, SWITCHED OR HOT LEG	CONDUIT RUN CONCEALED IN WALL OR CEILING. CROSS LINES INDICATE NO. OF #12 COPPER WIRES EXCLUDING GROUND CONDUCTORS WHERE REQ'D (1/2" CONDUIT U.O.N)
- - - -	CONDUIT RUN IN FLOOR OR U.G.
———	CONDUIT RUN EXPOSED
	GROUND CONNECTION
	CONDUIT STUB OUT WITH CAP
	PANEL MOUNTED CIRCUIT BREAKER
OR	PANEL MOUNTED FUSED SWITCH
	ALL SWITCHES (36" MIN TO 48" MAX AFF, SEE NOTE1)
S	SINGLE POLE SWITCH
S3	THREE WAY SWITCH
S4	FOUR WAY SWITCH
D	DIMMER SWITCH
D3	THREE WAY DIMMER SWITCH
	DISCONNECT SWITCH, FUSED
	DISCONNECT SWITCH, NON FUSED
	MAGNETIC MOTOR STARTER
	PANELBOARD
	SWITCHBOARD
	TELEPHONE BACKBOARD
T	TRANSFORMER
P	PUSH BUTTON
	ALL RECEPTACLES AT 15" MIN TO 48" MAX AFF. MINIMUM DIMENSION IS MEASURED FROM THE BOTTOM OF THE BOX AND MAXIMUM IS MEASURED FROM THE TOP OF THE BOX.
	GROUND DUPLEX RECEPTACLE (15A)
	QUAD RECEPTACLE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER DOUBLE DUPLEX RECEPTACLE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
AFCI	ARC FAULT CIRCUIT INTRRUPTER RECEPTACLE
D	DEDICATED RECEPTACLE (20A)
	SWITCHED RECEPTACLE
	FLOOR MOUNTED RECEPTACLE
	CEILING MOUNTED RECEPTACLE
	SIMPLEX RECEPTACLE
J	JUNCTION BOX
	FLOOR MOUNTED J-BOX
▲	TELEPHONE OUTLET (+18 U.O.N.)
	TELEPHONE CLG. MOUNTED OUTLET
	TELEPHONE FLOOR MOUNTED OUTLET
INT	INTERCOM OUTLET
TV	CABLE TELEVISION OULET
△	DATA (CAT 6) OUTLET (+18" U.O.N.)
	DATA (CAT 6) CLG. MOUNTED OUTLET
	DATA (CAT 6) FLR. MOUNTED OUTLET
SFD	SMOKE FIRE DAMPER
	EQUIPMENT
S	SMOKE DETECTOR
SC	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR

PROJECT SCOPE

1. 36-UNIT MULTI-RESIDENTIAL BUILDING.

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3700 W. RIVERSIDE INVESTMENTS. LLC

127 N. MADISON AVE., SUITE 200
PASADENA, CA 91101

3700 RIVERSIDE DRIVE

MIXED-USE PROJECT

3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

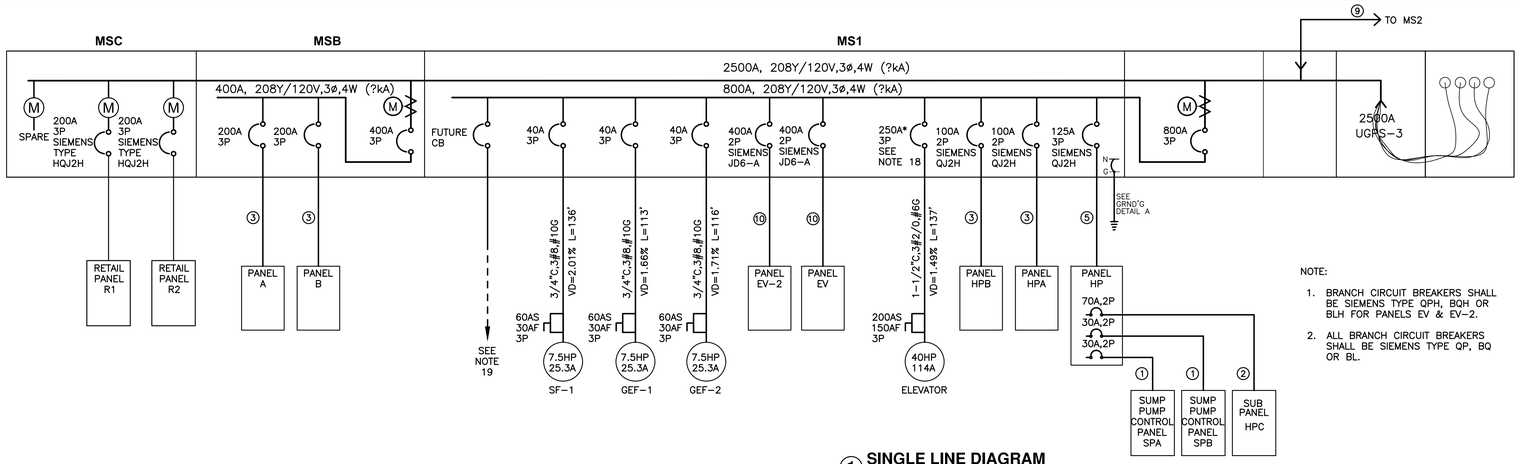
ISSUE DESCRIPTION	
CUP & DR SUBMITTAL	2/15/19
CUP & DR - PLAN UPDATES	9/12/19
CUP & DR - RESUBMITTAL	9/26/19

SHEET TITLE

NOTES & SYMBOLS

SHEET NUMBER

E-1.0

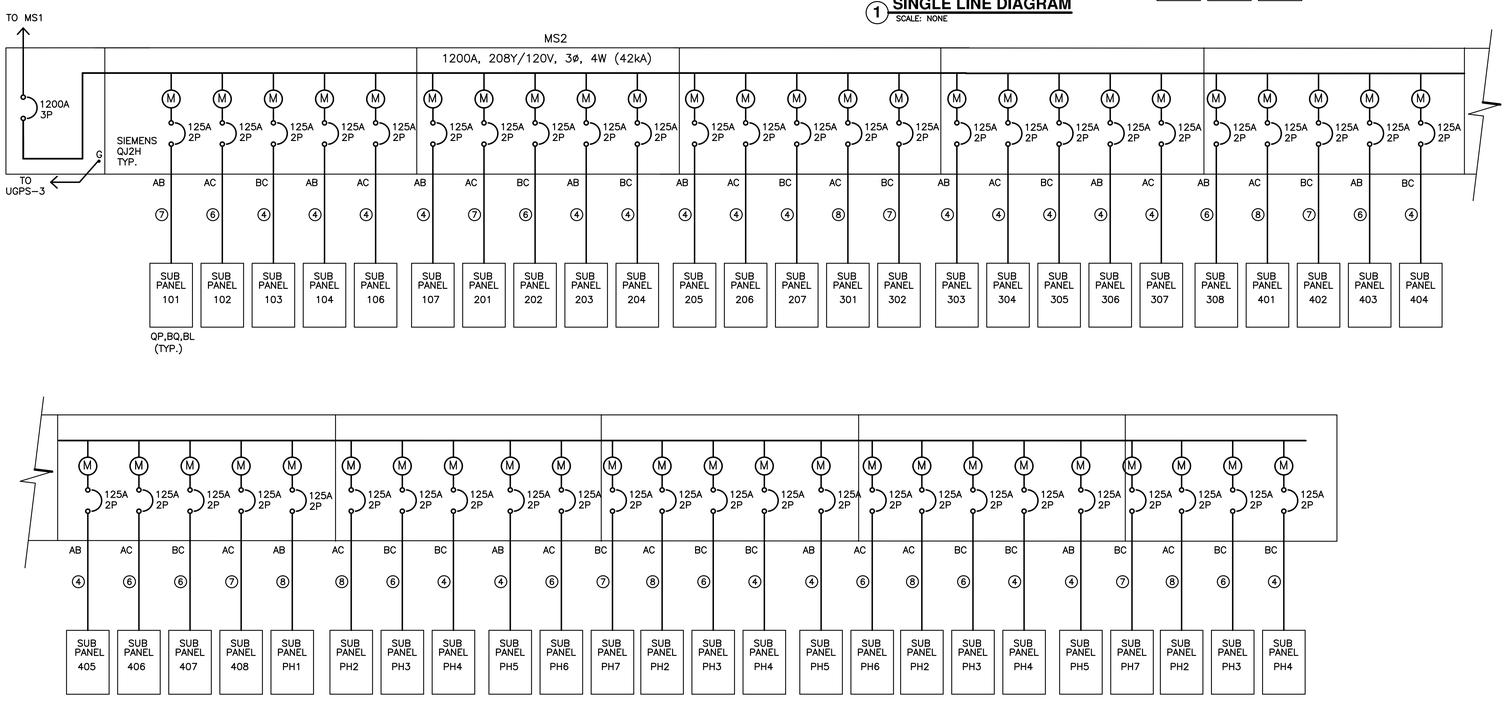


NOTE:

1. BRANCH CIRCUIT BREAKERS SHALL BE SIEMENS TYPE QPH, BQH OR BLH FOR PANELS EV & EV-2.
2. ALL BRANCH CIRCUIT BREAKERS SHALL BE SIEMENS TYPE QP, BQ OR BL.

1 SINGLE LINE DIAGRAM

SCALE: NONE



MAIN SERVICE CALCULATION

GENERAL LIGHTING LOAD		3	X	51839	=	155517	VA
SMALL APPLIANCE LOAD	49	X	2	X	1500	=	147000	VA
GARBAGE DISPOSAL	49	X	1	X	870	=	42630	VA
LAUNDRY	49	X	1	X	1500	=	73500	VA
DISHWASHER	49	X	1	X	1200	=	58800	VA
MICROWAVE OVEN	49	X	1	X	1200	=	58800	VA
BATHROOM FAN	49	X	2	X	50	=	4900	VA
SMOKE DETECTOR	49	X	4	X	10	=	1960	VA
ELECTRIC DRYER	49	X	1	X	5000	=	245000	VA
ELECTRIC OVEN	49	X	1	X	8000	=	392000	VA
FC-1	49	X	1	X	700	=	34300	VA
HP-1	49	X	1	X	4500	=	220500	VA
25% OF LARGEST LOAD							1125	VA
TOTAL CONNECTED LOAD							1436032	VA
APPLICATION OF OPTIONAL CALC.							0.26	
NEC DEMAND FACTOR							373368	VA
AMP @ 208Y/120							1036	A
SWITCHBOARD MS1							684	A
SWITCHBOARD MSB							245	A
SWITCHBOARD MSC							260	A
TOTAL AMP @ 208Y/120							2225	A
SERVICE SIZE REQUIRED:	1-2500A, 208Y/120, 3 PH, 4 WIRE							

PANEL R1 LOAD CALCULATION

LIGHTING LOAD	500	X	3	VA/FT	=	1500 VA
RECEPTACLE LOAD	500	X	1	VA/FT	=	500 VA
SIGN	1	X	1200	VA	=	1200 VA
AC LOAD	2	X	4700	VA	=	9400 VA
FAN COIL LOAD	2	X	700	VA	=	1400 VA
SHOW WINDOW (30 FT.)	1	X	6200	VA	=	6200 VA
MISC. LOAD			25000	VA	=	25000 VA
						45200 VA
						125 AMP
PANEL SIZE REQUIRED:			1-200A, 208Y/120, 3 PH, 4 WIRE			

PANEL R2 LOAD CALCULATION

LIGHTING LOAD	500	X	3	VA/FT	=	1500 VA
RECEPTACLE LOAD	500	X	1	VA/FT	=	500 VA
SIGN	1	X	1200	VA	=	1200 VA
AC LOAD	2	X	4700	VA	=	9400 VA
FAN COIL LOAD	2	X	700	VA	=	1400 VA
SHOW WINDOW (20 FT.)	1	X	4000	VA	=	4000 VA
MISC. LOAD			25000	VA	=	25000 VA
						43000 VA
						119 AMP
PANEL SIZE REQUIRED:			1-200A, 208Y/120, 3 PH, 4 WIRE			
TOTAL						245 AMP
SWTBD SIZE REQUIRED:			1-400A, 208Y/120, 3 PH, 4 WIRE			

SERVICE MSB LOAD CALCULATION

LIGHTING LOAD	1000	X	3	VA/FT	=	3000 VA
RECEPTACLE LOAD	1000	X	1	VA/FT	=	1000 VA
SIGN	1	X	4800	VA	=	4800 VA
AC LOAD	2	X	4700	VA	=	9400 VA
FAN COIL LOAD	2	X	700	VA	=	1400 VA
SHOW WINDOW (120 FT.)	1	X	24000	VA	=	24000 VA
MISC. LOAD			50000	VA	=	50000 VA
						93600 VA
						260 AMP
SERVICE SIZE REQUIRED:			1-400A, 208Y/120, 3 PH, 4 WIRE			

FEEDER CALACULATION TYPICAL UNIT

GENERAL LIGHTING	3	X	1854	=	5562	VA			5562
SMALL APPLIANCE	2	X	1500	=	3000	VA			3000
LAUNDRY	1	X	1500	=	1500	VA			1500
									10062
					1ST 3000 @		100%		3000
					REMAINDER @		35%		2471.7
GARBAGE DISPOSAL	1	X	870	=	870	VA	X	100%	870
DISHWASHER	1	X	1200	=	1200	VA	X	100%	1200
MICROWAVE OVEN	1	X	1200	=	1200	VA	X	100%	1200
SMOKE DETECTOR	4	X	10	=	40	VA	X	100%	40
HOOD FAN	1	X	150	=	150	VA	X	100%	150
BATHROOM FAN	2	X	50	=	100	VA	X	100%	100
ELECTRIC DRYER	1	X	5000	=	5000	VA	X	100%	5000
ELECTRIC OVEN	1	X	8000	=	8000	VA	X	100%	8000
FC-7	1	X	700	=	700	VA	X	100%	700
HP-7	1	X	4900	=	4900	VA	X	100%	4900
25% OF LARGEST CONT. LOAD									1225
TOTAL LOAD									28857
AMP @ 208V									139

FEEDER SCHEDULE

ID	CONDUIT AND FEEDER	FEEDING THESE DEVICES
1	1/2"C,2#10,#10N,#10G	SPA, SPB
2	1"C,2#4,#4N,#8G	HPC
3	1"C,2#3,#3N,#8G	HPA, HPB
4	1-1/4"C,2#1,#1N,#6G	103, 104, 106, 107, 203, 204, 205, 206, 207, 303, 304, 305, 306, 307, 404, 405, PH4, PH5
5	1-1/2"C,3#1,#1N,#6G	HP
6	1-1/2"C,2#1/0,#1/0N,#6G	102, 202, 308, 403, 406, 407, PH3, PH6
7	1-1/2"C,2#2/0,#2/0N,#6G	101, 201, 302, 402, 408, PH7
8	2"C,2#3/0,#3/0N,#6G	301, 401, PH1, PH2
9	(3)3-1/2"C,3#600kcmil,#600kcmil N,#3/0G	MS2
10	3"C,2#500kcmil,#500kcmil N,#3G	EV, EV-2

SIZING METHOD: COPPER, 75%dC #12 AND ABOVE

SINGLE LINE DIAGRAM NOTES:

1. ALL WORK SHALL BE PERFORMED PER 2013 CALIFORNIA ELECTRICAL CODE.
2. ~~ALL ELECTRICAL EQUIPMENT AND SWITCHBOARDS SHALL BE FULLY RATED.~~
3. ALL ELECTRICAL EQUIPMENT AND SWITCHBOARDS SHALL BE SERIES RATED.
4. PROVIDE A CAUTIONARY LABEL TO THE SERIES RATED DEVICE COVER STATING " CAUTION-SERIES COMBINATION SYSTEM RATED 42,000A. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED".
5. ALL ELECTRICAL EQUIPMENT, SWITCHBOARDS, ETC. TO WITHSTAND AVAILABLE FAULT CURRENT. VERIFY WITH SERVING UTILITY COMPANY.
6. ELECTRICAL EQUIPMENT SHALL BE LISTED BY A CITY OF LOS ANGELES RECOGNIZED ELECTRICAL TESTING LABORATORY OR UL.
7. PROVIDE SEISMIC BRACING FOR ALL SERVICE EQUIPMENT, SWITCHBOARDS AND OTHER FLOOR STANDING EQUIPMENT BY INSTALLING APPROVED ANCHORS TO THE BUILDING STRUCTURE FROM EACH EQUIPMENT ENCLOSURE.
8. FURNISH ELECTRICAL EQUIPMENT OF THE SAME TYPE OR CLASS FROM ONE MANUFACTURER.
9. EQUIP ALL DISTRIBUTION FUSIBLE SWITCHES WITH REJECTION TYPE FUSE CLIPS FOR USE WITH CURRENT LIMITING, U.L. CLASS "R" FUSES.
10. PROVIDE FUSES FROM ONE MANUFACTURER OF THE FOLLOWING TYPES:

    A. "RK-1" – U.L. CLASS "RK-1" CURRENT LIMITING FUSES, "BUSSMANN" LOW-PEAK TYPE LPN-RK_SP.
    B. "RK5" – U.L. CLASS "RK5" CURRENT LIMITING, DUAL ELEMENT FUSES, "BUSSMANN" LOW-PEAK TYPE LPN-RK_SP.

11. ALL CONDUCTORS SHALL BE COPPER WITH TYPE "THWN/THHN" INSULATION RATED FOR 600 VOLTS.
12. FEEDER LENGTHS NOTED ON DRAWINGS ARE FOR VOLTAGE DROP AND SHORT CIRCUIT CALCULATIONS ONLY AND ARE NOT TO BE USED FOR ESTIMATE OR MATERIAL TAKE-OFF.
13. NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE.
14. ALL TERMINALS/LUGS SHALL BE DUAL RATED 60°/75° C.
15. THE ELECTRICAL ROOM DOOR SHALL OPEN OUTWARD AND SHALL BE EQUIPPED WITH PANIC HARDWARE.
16. THE GROUNDING CONDUCTOR SHALL BE CONNECTED TO WATER PIPE (GROUNDING ELECTRODE) WITHIN 5' FROM THE POINT OF ENTRANCE INTO THE BUILDING.
17. PROVIDE SEISMIC ANCHORING AND BRACING FOR MAIN SWITCHBOARD AND ALL STANDING SECTIONS.
18. ELEVATOR CIRCUIT BREAKER SHALL BE EQUIPPED W/ SHUNT TRIP (SIEMENS C/B TYPE FXD6 OR EQ.)
19. INSTALL A 1" CONDUIT FROM THE MAIN SWITCHBOARD TO THE ROOF AND TERMINATE IN A 12"X12"X6" NEMA 3R BOX FOR FUTURE SOLAR. "THE CONDUIT FOR THE FUTURE ELECTRICAL SOLAR SYSTEM SHALL BE LABELED AS PER LOS ANGELES FIRE DEPARTMENT REQUIREMENTS"
20. CIRCUIT BREAKERS USED AS SWITCHES IN 120 AND 277 VOLT FLUORESCENT LIGHTING CIRCUITS SHALL BE LISTED AND MARKED AS "SWD" OR "HID".
21. PROVIDE A LABEL STATING "EV CAPABLE" IS A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT.
22. CONDUCTORS OF A MULTI-WIRE BRANCH CIRCUIT SHALL CONSPICUOUS ORIGINATE FROM THE SAME PANELBOARD. THE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES (210.4, 240.15(B)(1))
23. ANY CONDUIT RUN OR MULTICONDUCTOR CABLE LEAVING THE CLASS I, DIVISION 1 OR CLASS I, DIVISION 2 LOCATION SHALL BE PROVIDED WITH A CONDUIT OR CABLE SEAL. THE CABLE SHALL BE INCAPABLE OF TRANSMITTING GASSES OR VAPORS THROUGH THE CABLE CORE. THE SEAL SHALL BE INSTALLED ON EITHER SIDE WITHIN 10 FEET OF THE SPECIFIED HAZARDOUS AREA BOUNDARY, UNLESS SHORTER DISTANCE IS REQUIRED BY METHANE STANDARD. (501.15(A)(4),(B)(2),(D)(3))
24. EACH ELECTRICAL SERVICE SHALL HAVE PERMANENTLY INSTALLED USER-ACCESSIBLE METERING OF TOTAL ELECTRICAL ENERGY USE PER TABLE 130.5(A)

SERVICE SIZE	M.B.J. SIZE
0-1000 A	# 3/0
1200 A	# 4/0
1600 A	250 MCM
2000 A	300 MCM
2500 A	500 MCM
3000 A	500 MCM
4000 A	600 MCM

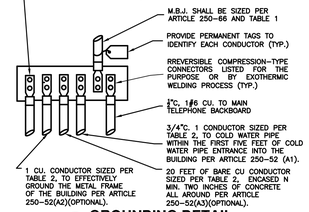
MAIN BONDING JUMPER TABLE 1

Service Size	G.E.C. Size
0-200 A	#4
201-400 A	#1/0
Over 401 A	#3/0

GROUNDING ELECTRODE CONDUCTOR TABLE 2

1 CU. CONDUCTOR SIZED PER TABLE 2, TO BE CONNECTED TO A 1/2"-10' LONG CU. ROD, BURIED A MIN. OF 8' IN GROUND. A SINGLE ROD, PIPE, OR PLATE ELECTRODE SHALL BE SUPPLEMENTED BY AN ADDITIONAL ELECTRODE OF A TYPE SPECIFIED IN 250.52(A)(2) THROUGH (A)(8). THE SUPPLEMENTAL ELECTRODE SHALL BE PERMITTED TO BE BONDED TO ONE OF THE FOLLOWING:
(1) ROD, PIPE, OR PLATE ELECTRODE
(2) GROUNDING ELECTRODE CONDUCTOR
(3) GROUNDED SERVICE-ENTRANCE CONDUCTOR
(4) NONFLEXIBLE GROUNDED SERVICE RACEWAY
(5) ANY GROUNDED SERVICE ENCLOSURE

EXCEPTION: IF A SINGLE ROD, PIPE, OR PLATE GROUNDING ELECTRODE HAS A RESISTANCE TO EARTH OF 25 OHMS OR LESS, THE SUPPLEMENTAL ELECTRODE SHALL NOT BE REQUIRED PER ARTICLE 250-52.



A GROUNDING DETAIL

SCALE: NONE

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Hamid R. Abrari

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3700 RIVERSIDE DRIVE

MIXED-USE PROJECT

3700 W. RIVERSIDE DRIVE
BURBANK, CA 91505

CUP & DR SUBMITTAL	2/15/19
CUP & DR – PLAN UPDATES	9/12/19
CUP & DR – RESUBMITTAL	9/26/19

ISSUE DESCRIPTION

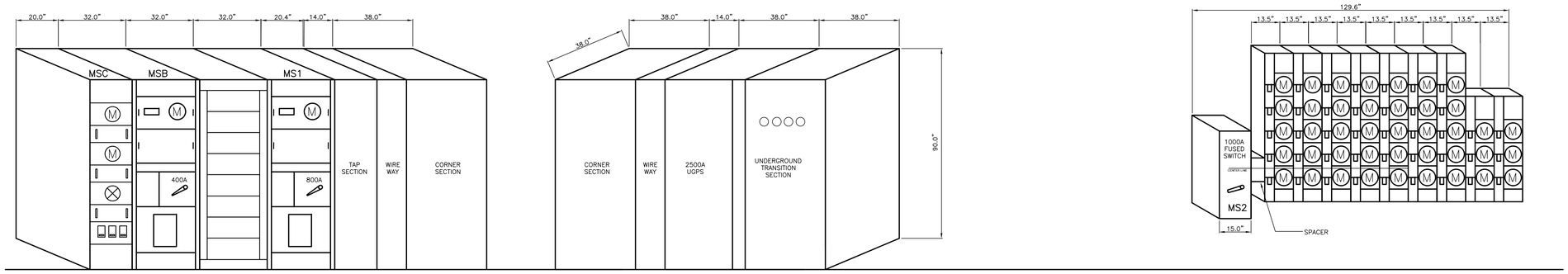
SHEET TITLE

SINGLE LINE DIAGRAM & LOAD CALCULATIONS

SHEET NUMBER

E-2.0

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY ABRARI AND ASSOCIATES AND WERE CREATED AND DEVELOPED FOR USE AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN AUTHORIZATION OF ABRARI AND ASSOCIATES INC.



1 SWITCH BOARD ELEVATION

SCALE: 1/2"=1'-0"

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SHEET TITLE

SINGLE LINE DIAGRAM ELEVATIONS

SHEET NUMBER

E-2.1

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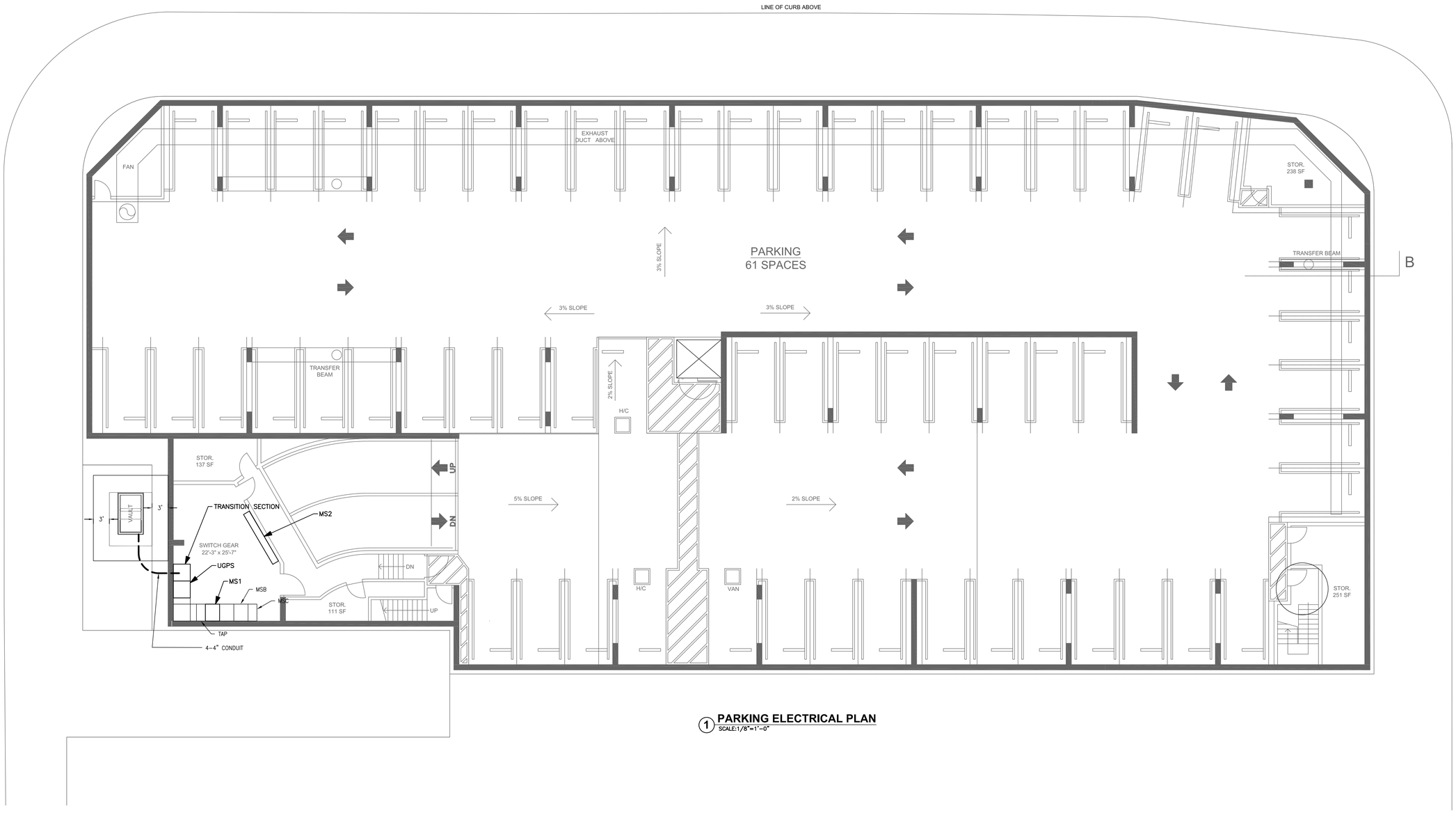

1 **PARKING ELECTRICAL PLAN**
SCALE:1/8"=1'-0"

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CUP & DR – PLAN UPDATES	9/12/19
CUP & DR – RESUBMITTAL	9/26/19

SHEET TITLE

PARKING ELECTRICAL PLAN

SHEET NUMBER

E-4.0

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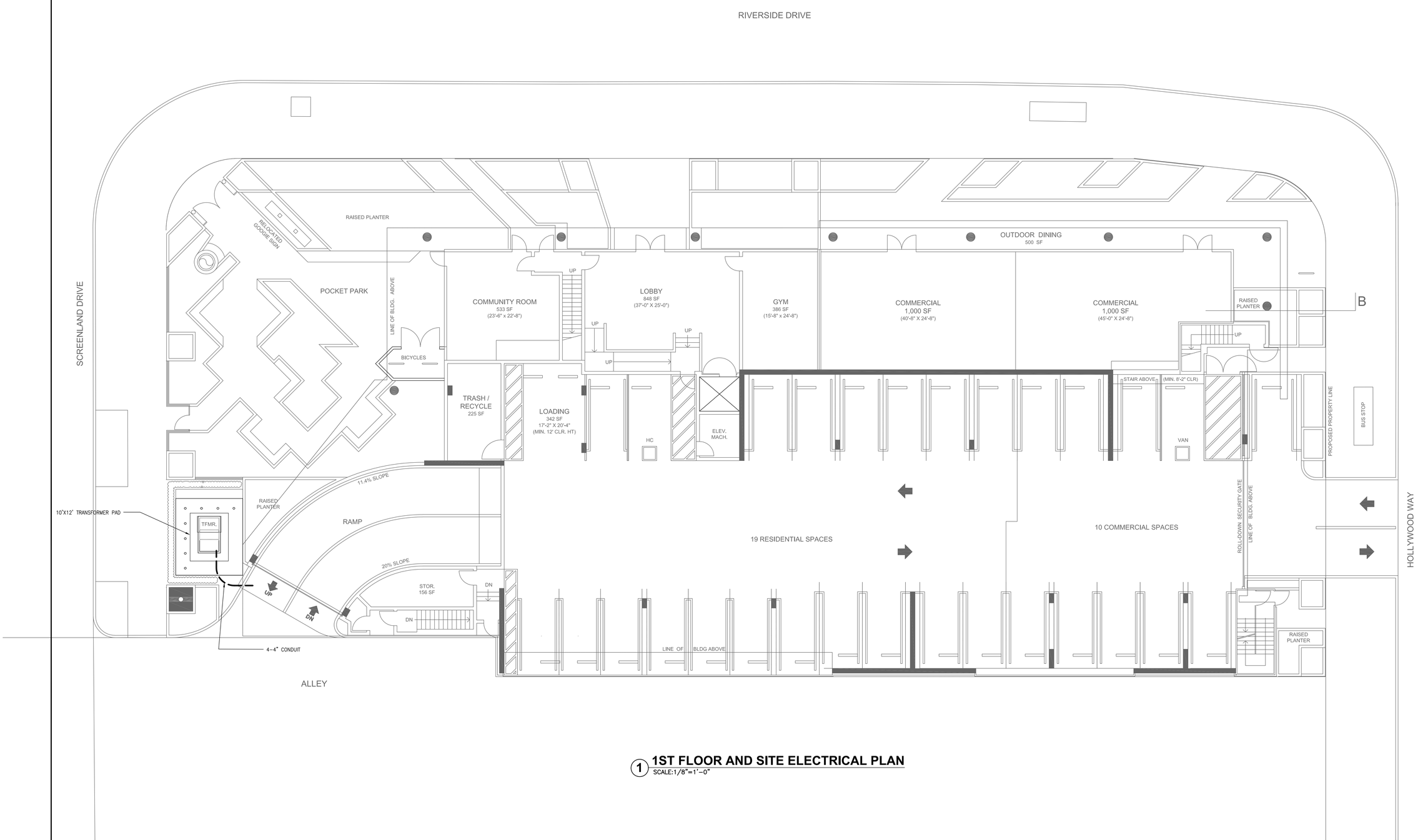

1 **1ST FLOOR AND SITE ELECTRICAL PLAN**
SCALE:1/8"=1'-0"

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ISSUE DESCRIPTION	
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CUP & DR – PLAN UPDATES	9/12/19
CUP & DR – RESUBMITTAL	9/26/19

SHEET TITLE

1ST. FLOOR & SITE ELECTRICAL PLAN

SHEET NUMBER

E-4.1

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